
BCA / NCC Building Code of Australia Compliance Report

**132 Wilbur Street,
Greenacre NSW 2190**

Issue - B 19/02/2024



SILVER END
PTY LTD

Contents

1.0	Introduction -----
1.1	Basis of Report -----
1.2	Purpose of the Report -----
1.3	Limitations of the Report -----
1.4	Exclusions -----
2.0	Building Assessment Data -----
3.0	BCA Assessment Summary -----
3.1	General Upgrade Strategy -----
3.2	Recommended Works -----
3.3	Summary General -----
4.0	Conclusion -----
5.0	Appendix-----

Disclaimer

The technical and intellectual content prepared and contained within this document is intended specifically for the subject building and client of *Silver End Pty Ltd* under the contract for which it is prepared. This document may not be used for any other purpose and shall not be accessed by any third party without written permission by *Silver End Pty Ltd*.

This report has been prepared as an Advisory report for the sole use of the owners/developers to inform themselves of the feasibility of the proposed development and if it would comply with the Building Code of Australia.

1.0 Introduction

The subject site is located at **132 Wilbur St, Greenacre NSW 2190**



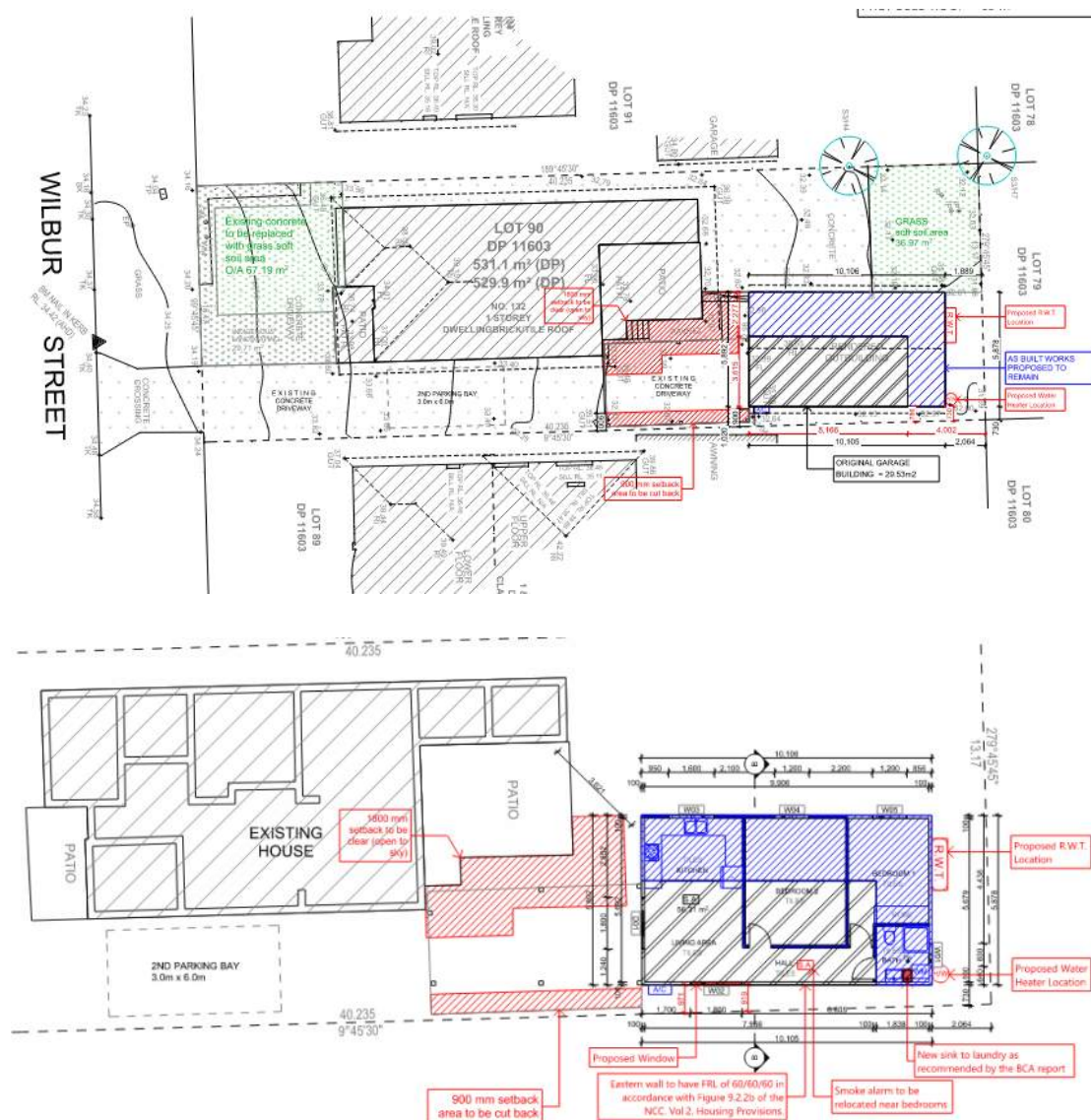
The proposal is seeking Council's retroactive approval for the "unauthorized internal alterations and additions of the existing garage located at rear of the dwelling for the purpose of conversion to secondary dwelling". The report is prepared to assess the level of compliance with the Building Code of Australia for the purpose of the unauthorised building works.

The existing detached garage building is classified as 10a as it meets the definition of Class 10a that is: *is a non-habitable building including a private garage, carport, shed or the like.*

Private garage, for the purposes of Volume Two, means—

- (a) any garage associated with a Class 1 building; or
- (b) any separate single storey garage associated with another building where such garage contains not more than 3 vehicle spaces.

The new secondary dwelling has a calculated floor area of approximately 56.31m² as shown on plans.



Any non-compliance would be subject to the recommendation stated in this report to bring the existing class 10a building to comply with the relevant clauses of BCA/NCC, as per the relevant requirements of the BCA 2022.

The proposal is seeking a retrospective development consent under Environmental Planning and Assessment Acts and Regulation to convert existing garage (Class10a) to Secondary Dwelling (Class1a).

This BCA upgrade report enables the appointed Principal Certifier and/or Council to readily identify and understand the nature and extent of any design amendments required to achieve compliance with DTS provisions of the NCC or highlight the non-compliances and recommend any works to achieve compliance with the DTS or suggest a performance Solution to address any DTS departures where applicable.

Any non-compliance would be subject to the recommendation stated in this report to bring the proposed development into compliance with the relevant clauses of BCA/NCC for a Class 1a building, as per the relevant requirements of the BCA 2022.

- **Please refer to Section 3.3 (Recommendations) on page 42 of this report for the recommended works to achieve compliance and to confirm compliance status of existing building.**

1.1 Basis of Report

The report is prepared to assess the level of compliance with the Building Code of Australia for the purpose of the unauthorised building works. The current Building Code of Australia (BCA -2022) will be used as a guide when assessing the building.

This report is based on the following:

1. The requirements of the Building Code of Australia 2022, including the NSW Variations (as a guide);
2. The Guide to the Building Code of Australia;
3. Review and assessment of plans prepared by Premium Quality Group Pty Ltd, Issue B, dated 19 Feb 2024.
4. Site Inspection, Dated 10 February 2024.

This “BCA Compliance Assessment” report has been prepared at the request of the owners of the property prior to submission to Council for BIC and DA assessment.

1.2 Purpose of the Report

The purpose of this report is to assess the following:

- Assessment and identify any non-compliances of the un-authorised building works against the current Building Code of Australia 2022 and list any departures from the BCA 2022, if any.
- The purpose of this report is to recommend any building and fire safety upgrade requirements that would comply with the National Construction code, and address any potential non-compliances, and make recommendations as to how compliance would be achieved.
- This report is based upon and limited to, the information depicted in the documentation provided for assessment, and does not make assumptions regarding “design intention” or the like.

The content of this report reflects –

- (a) The principles and provisions of BCA 2022 Volume 2;
- (b) A Site inspection, Dated 10 February 2024.
- (c) Review and assessment of plans prepared by Premium Quality Group Pty Ltd, Issue A, dated 31 July 2023.

The purpose of this report is to identify the extent to which the architectural design and documentation complies with the relevant prescriptive provisions of the BCA 2022. Assessment of the proposed design considers each prescriptive BCA provision, and identifies such as either: –

The purpose of this report is to identify the extent to which the architectural design documentation complies with the relevant prescriptive provisions of the BCA 2022. Assessment of the proposed design considers each prescriptive BCA provision, and identifies such as either: –

- (a) Being complied with; or
- (b) Not being complied with; or
- (c) Capable of complying, requiring the provision further detail / inspection by the appointed principal certifier during construction; or
- (d) Not being relevant to the particular building works or proposal; or
- (e) Provision is Noted. No assessment required.

The status of the design, in terms of these five (5) categories, is summarised within Part 3 of this report.

BCA Assessment Table

For the purpose of this BCA Report, the building will be assessed in the following manner –

Legend:

Compliance	Being complied with
Non- Compliance	Not being complied with
Capable	Capable of complying, requiring the provision further detail
Non-Applicable	Not being relevant to the particular building works or proposal
Noted	Provision is Noted. No assessment required.

In instances where insufficient detail exists, summary of the information required from the project team for inclusion within future applications (i.e. Building Permit) shall also be outlined in Part 4.

1.3 Limitations of the Report

This report does not assess the following:

- Access and facilities for people with disabilities is addressed however compliance with Disability Discrimination Act 1992 (DDA) and the Disability (Access to Premises –Buildings) Standards 2010 (Premises Standards) is outside the scope of this report. It should be noted that BCA compliance does not necessarily meet the requirements of the Disability Discrimination Act (DDA) or the Premises Standards.
- Reporting on hazardous materials, OH&S matters or site contamination
- Assessment of any structural elements or geotechnical matters relating to the building, including any structural or other assessment of the existing fire-resistant levels of the building
- Consideration of non-relevant fire services operations (including hydraulic, electrical or other systems)
- Assessment of plumbing and drainage installations, including stormwater
- Assessment of mechanical plant operations, electrical systems or security systems
- Heritage significance
- Consideration of energy or water authority requirements
- Consideration of Council's local planning policies
- Environmental or planning issues
- Requirements of statutory authorities
- BCA compliance for the whole site/buildings

- Pest inspection or assessment building damage caused by pests (general/visual pest invasion or damage will be reported, however invasive or intrusive inspections have not been carried out)
- Provision of any construction approvals or certification under Part 4A Certification of development, or Part 5 Environmental assessment, of the Environmental Planning & Assessment Act 1979
- Glazing, shading, lighting calculations and the like required by Section J of the BCA not been carried out
- Swimming pool fencing/access compliance with AS1926.1

1.4 Exclusions

It is conveyed that this report should not construed to infer that an assessment for compliance with the following has been undertaken –

- (a) Structural and services design documentation;
- (b) General building services (i.e. passenger lifts);
- (c) The individual requirements of service providers (i.e. Telstra, Water Supply, Energy Australia);
- (d) The individual requirements of the Workcover Authority;
- (e) Disability Discrimination Act (DDA);
- (f) Swimming pool fencing/access compliance with BCA and AS1926.1
- (g) Fire Safety Schedule, where required for Class 1b.

2.0 Building Assessment Data

Part A6.1 BUILDING CLASSIFICATION

In the context of the Building Code of Australia (BCA), the subject development is described within Part 6.0 below.

(1) The classification of a building or part of a building is determined by the purpose for which it is designed, constructed, or adapted to be used.

(2) Each part of a building must be classified according to its purpose and comply with all the appropriate requirements for its classification.

A6.1 CLASS 1 BUILDINGS

The subject site has an existing building that incorporates the following classifications: Class 1a – Dwelling House.

A6.10 Class 10 buildings and structures

A Class 10 building includes one or more of the following sub-classifications:

(1) Class 10a is a non-habitable building including a private garage, carport, shed or the like.

A small toolshed, used for trade-related hobbies for non-commercial purposes or home repairs, on the same allotment as a Class 1 building, would be classified as a Class 10 building

Methodology for Classification

The subject building is classified as class 10a as it meets the definition of **Class 10a** that is:

A6.1 Class 10 buildings

A Class 10 building is defined within the NCC as follows:

- (1) A Class 10 building is a non-habitable building or structure.*
- (2) Class 10 includes the following sub-classifications:*
 - (a) Class 10a is a non-habitable building including a private garage, carport, shed or the like.*
 - (b) Class 10b is a structure that is a fence, mast, antenna, retaining wall or free-standing wall or swimming pool or the like.*
 - (c) Class 10c is a private bushfire shelter.*

NOTE: The inspection was a 'visual' inspection, limited to those areas and sections of the property fully accessible and visible to the inspector on the date of inspection. The inspection DID NOT include breaking apart, dismantling, removing or moving objects including but not limited to, foliage, mouldings, roof insulation / insulation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector CANNOT see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards, other areas that are concealed or obstructed. The inspector DID NOT dig, gouge, force or perform any other invasive procedures. Visible timbers cannot be destructively probed or hit without the written permission of the property owner.

This report does not and cannot make comment upon: defects that may have been concealed, the assessment or detection of defects (including rising damp and leaks) which may be subject to the prevailing weather conditions, the presence or absence of timber pests, gas fittings, common property areas, environmental concerns; the proximity of the property to flight paths, railways, or busy traffic; noise levels; health and safety issues; heritage concerns; security concerns; site drainage (apart from surface water drainage); swimming pools and spas (non-structural); detection and identification of illegal building work ; detection and identification of illegal plumbing work ; durability of exposed finishes ; neighbourhood problems ; document analysis ; electrical installation; any matters that are solely regulated by statute; any area(s) or item(s) that could not be inspected by the consultant. Accordingly, this Report is not a guarantee that defects and/or damage does not exist in any inaccessible or partly inaccessible areas or sections of the property. (NB: such matters may upon request be covered under the terms of a special purpose property report.)

3.0 BCA Assessment Summary

1. Building Code of Australia			
Section H – Class 1 and 10 buildings			
Part H1 – Structure			Comments
H1D1	Performance Requirements H1P1 and H1P2 are satisfied by complying with H1D2 to H1D11.		
H1D2	Structural provisions	Capable	A Class 1 or Class 10 building must be constructed in accordance with Section 2 of the Housing Provisions, the relevant provisions of H1D3-H1D12 or any combination thereof.
H1D3	Site preparation	Non-Applicable	
H1D4 (NSW)	Footings and slabs	Capable	Engineer to certify footings and slabs. Performance Requirement H1P1 is satisfied for the design and construction of footings and slabs if they comply with either (a) or (b): (a) One of the following: (i) AS 2870 (ii) AS 3600.
H1D5	Masonry	Non-Applicable	
H1D6	Framing	Capable	Performance Requirement H1P1 is satisfied for timber framing if it is designed and constructed in accordance with Residential timber-framed construction – non-cyclonic areas: AS 1684.2 or AS 1684.4. A suitable qualified profession engineer is to certify that the timber framing is in accordance with AS1684.2 or AS 1684.4
H1D7	Roof and wall cladding	Capable	Performance Requirement H1P1 is satisfied for sheet roofing if it complies with AS 1562.1. A suitable qualified roof contractor may provide details demonstrating compliance with AS 1562.1 Downpipes to be connected to storm water system.

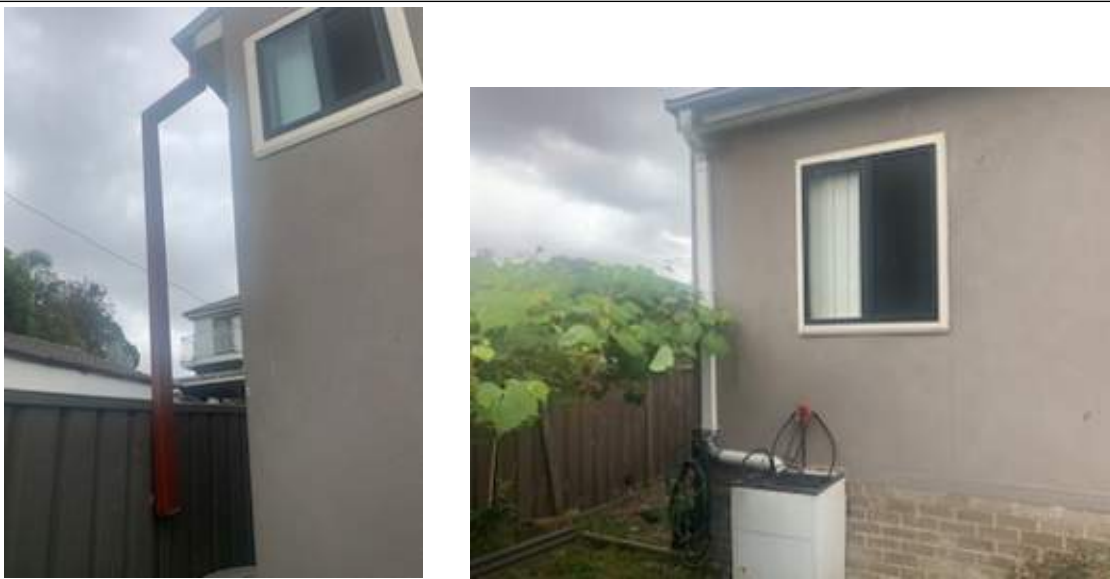

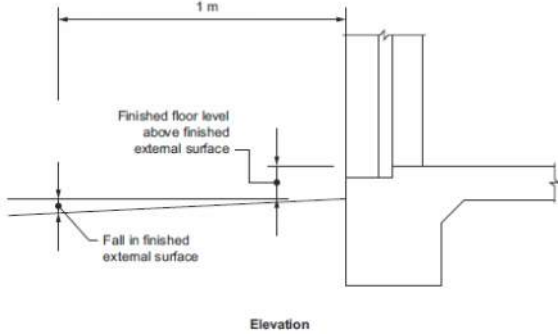
H1D8	Glazing	Capable	<p>Performance Requirement H1P1 is satisfied for glazing and windows if they are— designed, constructed and installed in accordance with for glass, AS 1288 and for windows, AS 2047</p> <p>Certification to be provided for windows and glassed constructed and installed in accordance with for glass, AS 1288 and for windows, AS 2047</p>
H1D9	Earthquake areas	Non-Applicable	
H1D10	Flood hazard areas	Non-Applicable	
H1D11	Attachment of framed decks and balconies to external walls of buildings using a waling plate	Non-Applicable	
H1D12	Piled footings	Non-Applicable	
Part H2 – Damp and weatherproofing			Comments
H2D1	Performance Requirements H2P1 to H2P3 are satisfied by complying with H2D2 to H2D8.		
H2D2	Drainage	Non-Compliance	<p>Performance Requirement H2P1 is satisfied for drainage if it is designed and constructed in accordance with AS/NZS 3500.3.</p> <p>Licensed plumber to certify drainage.</p>
H2D3 (NSW)	Footings and slabs	Capable	Footings and slabs are to comply with H1D4(1)(a) or (b). Engineer to certify.
H2D4	Masonry	Non-Applicable	No masonry walls. Strip footing masonry walls only.
H2D5	Subfloor ventilation	Non-Applicable	No Subfloor.
H2D6	Roof and wall cladding	Non-Compliance	Licensed plumber to certify verandah roof drainage. Downpipes to be connected to storm water system.
H2D7	Glazing	Compliance	Weatherproofing for glazing is to comply with H1D8(1). Glazing certificate to be provided to Council.

H2D8	External waterproofing	Compliance	External above ground membranes to comply with AS3740 & AS 4654.1. Subject to licenced waterproofed certification.
Part H3 – Fire safety			Comments
H3D1	Performance Requirements H3P1 and H3P2 are satisfied by complying with H3D2 to H3D6.		
H3D2	Fire hazard properties and non-combustible building elements	Noted	
H3D3	Fire separation of external walls	Non-Compliance	Fire separation of external walls is to comply with Part 9.2 of the Housing Provisions where required. Additional fire rating of (FRL 60/60/60) is required to eastern boundary wall.
H3D4	Fire protection of separating walls and floors Part 9.3 of HP	Non-Applicable	No separating walls and floors.
H3D5 (NSW)	Fire separation of garage-top-dwellings	Non-Applicable	No garage-top dwelling.
H3D6	Smoke alarms and evacuation lighting	Non-Compliance	Smoke alarms is to comply with Part 9.5 of the Housing Provisions. A Class 1 building includes a Class 10a private garage located above or below the Class 1 building. Smoke alarm to be relocated.
Part H4 – Health and Amenity			Comments
H4D1	Performance Requirements H4P1 to H4P7 are satisfied by complying with H4D2 to H4D9.		
H4D2	Wet areas	Capable	Wet area components and systems are to comply with the housing provisions or AS 3740 as relevant. Licensed water-proofer to certify works.

H4D3	Materials and installation of wet area components and systems Part 10.2 of HP	Capable	Subject to waterproofing certificate by a licensed contractor.
H4D4	Room heights Part 10.3 of HP	Compliance	Room heights complies with Part 10.3 of the Housing Provisions.
H4D5	Facilities Part 10.4 of HP	Non-Compliance	Facilities are to comply with Part 10.4 (1)(c) of the Housing Provisions. A Class 1 building must be provided with clothes washing facilities, comprising at least one washtub and space in the same room for a washing machine.
H4D6	Light Part 10.5 of HP	Compliance	Natural lighting complies with Part 10.5 of the Housing Provisions.
H4D7	Ventilation Part 10.6 of HP	Compliance	Natural ventilation complies with Part 10.6 of the Housing Provisions, or AS1668.2 as relevant.
H4D8	Sound insulation	Non-Applicable	Sound insulation as detailed in Part 10.7 of the Housing Provisions is not required.
H4D9	Condensation management Part 10.8 of HP	Capable	Condensation management is to comply with Part 10.8 of the Housing Provisions. Existing exhaust in roof area to be certified by licensed electrician.
Part H5 – Safe movement and access			Comments
H5D1	Performance Requirements H5P1 and H5P2 are satisfied by complying with H5D2 and H5D3.		
H5D2	Stairway and ramp construction Part 11.2 of HP	Non-Applicable	No stairways or ramps.
H5D3	Barriers and handrails	Non-Applicable	No barriers or handrails.

	Part 11.3 of HP		
Part H6 – Energy Efficiency			Comments
H6D1	Performance Requirements NSW H6P1 and NSW H6P2 are satisfied by complying with NSW H6D2.		
H6D2 (NSW)	Application of Part H6 Parts 13.2, 13.4 and 13.7 of HP	Capable	Thermal performance is to comply with Parts 13.2, 13.4 and 13.7 of the Housing Provisions. BASIX will continue to replace parts of NCC energy efficiency and thermal performance requirements through NCC Volume 2 NSW Part H6.
Part H7 – Ancillary provisions and additional construction requirements			Comments
H7D1	Performance Requirements H7P1 to H7P5 are satisfied by complying with H7D2 to H7D5.		
H7D2 (NSW)	Swimming pools	Non-Applicable	No pools.
H7D4 (NSW)	Construction in bushfire prone areas	Non-Applicable	Not in a bushfire prone land.
H7D5	Heating appliances, fireplaces, chimneys and flues Part 12.4 of HP AS/NZS 2918	Non-Applicable	No fireplaces or chimneys.
Part H8 – Livable housing design			Comments
H8D1	Performance Requirement H8P1 is satisfied by complying with H8D2.		
H8D2 (NSW)	Livable housing design	Non-Applicable	Not applicable in NSW
2. Housing Provisions Standard			
Section 2 – Structure			
Part 2.1 – Scope and application of Section 2			Comments
2.1.1	Scope	Capable	Scope noted.

2.1.2	Application	Capable	Application noted.
Part 2.2 – Structural provisions			Comments
2.2.1	Application of Part 2.2	Capable	Part 2.2 need not apply if structural elements comply with H1D3 – H1D11.
2.2.2	Resistance to actions	Capable	Subject to engineer's certificate.
2.2.3	Determination of individual actions	Capable	Subject to engineer's certificate.
2.2.4	Determination of structural resistance of materials and forms of construction	Capable	Subject to engineer's certificate.
2.2.5	Structural software	Non-Applicable	
Section 3 – Site preparation			
Part 3.1 – Scope and application of Section 3			Comments
3.1.1	Scope	Non-Applicable	Scope noted.
3.1.2	Application	Non-Applicable	Application noted.
Part 3.2 – Earthworks			Comments
3.2.1	Un-retained bulk earthworks – site cut and fill	Non-Applicable	
Part 3.3 – Drainage			Comments
3.3.1	Application	Non-Compliance	Part 3.3 need not apply if drainage complies with H2D2(a). Part 3.3 is subject to limitations set out in H2D2(b). Licenced plumber to certify drainage to comply with AS/NZS 3500.3.
3.3.2	Drainage requirements	Capable	Where underground drainage from roof areas is required or permitted – underground stormwater drainage in accordance with 3.3.5. Subject to licenced plumber certificate

			
3.3.3	Surface water drainage	Non-Compliance	<p>Surface water to be diverted away from door thresholds 50 mm over the first 1 m from the building for Class 1 buildings.</p> <p>Existing stormwater drainage from the main dwelling roof downpipe discharging into driveway and being connected with grate. This system is to be certified by licenced plumber. This will ensure that surface water will not enter the secondary dwelling during heavy rainfalls.</p>
		<p>Figure 3.3.3a: Site surface drainage</p>  <p>Elevation</p>	
3.3.4	Subsoil drainage	Non-Applicable	
3.3.5	Stormwater drainage	Non-Compliance	Existing stormwater system to be certified by licenced plumber.
Part 3.4 – Termite risk management			Comments
3.4.1	Requirements for termite	Capable	Pest controller to install and certify.

	management systems		
3.4.2	Termite management systems	Capable	Pest controller to install and certify.
3.4.3	Durable notice	Capable	Licensed Pest Controller to confirm Installation of a suitable termite barrier system on the perimeter of the outbuilding and certify the work and install a new durable notice.
Section 4 – Footings and slabs			
Part 4.1 – Scope and application of Section 4			Comments
4.1.1	Scope	Capable	Scope noted.
4.1.2	Application	Capable	Application noted.
4.1.3	Explanation of terms	Capable	Figures 4.1.3a, 4.1.3b and 4.1.3c noted.
Part 4.2 – Footings, slabs and associated elements			Comments
4.2.1	Application	Capable	Part 4.2 is subject to the limitations set out in H1D4(2).
4.2.2	Site classification	Capable	
4.2.3 (NSW)	Excavation for footings	Capable	Engineer to certify footings.
4.2.4	Filling under concrete slabs	Capable	Engineer to certify filling under slabs.
4.2.5	Foundations for footings and slabs	Capable	Engineer to certify footings & slabs.
4.2.6	Slab edge support on sloping sites	Capable	
4.2.7	Stepped footings	Capable	
4.2.8 (NSW)	Damp-proofing membrane	Capable	Existing Slab to be certified by engineer.
4.2.9	Edge rebates	Capable	Engineer to certify
4.2.10	Concrete	Capable	Engineer to certify
4.2.11	Steel reinforcement	Capable	Engineer to certify

4.2.12	Footing and slab construction	Capable	Engineer to certify
4.2.13	Stump footing details	Non-Applicable	
4.2.14	Stiffened rafts Class A, S and M sites	Non-Applicable	
4.2.15	Strip footings Class A, S and M sites	Non-Applicable	
4.2.16	Footing slabs for Class A sites	Non-Applicable	
4.2.17	Footings for single leaf masonry, mixed construction and earth wall construction	Non-Applicable	
4.2.18	Footings for fireplaces on Class A and S sites	Non-Applicable	
4.2.19	Shrinkage control	Capable	Engineer to certify
4.2.20	Concentrated loads	Capable	Engineer to certify
4.2.21	Minimum edge beam dimensions	Capable	Engineer to certify
4.2.22	Recessed areas of slabs	Capable	Engineer to certify
Section 5 – Masonry			
Part 5.1 – Scope and application of Section 5			Comments
5.1.1	Scope	Noted	Scope noted.
5.1.2	Application	Noted	Application noted.
Part 5.2 – Masonry veneer			Comments
5.2.1	Application	Non-Applicable	No Masonry walls. Except for existing and as built sub walls that forms part of the strip footing system. Which is to be certified by the structural engineer.
5.2.2	Height of wall limitation	Non-Applicable	
5.2.3	Openings in masonry veneer	Non-Applicable	

5.2.4	Damp-proof courses and flashing materials	Non-Applicable	
5.2.5	Vertical articulation joints	Non-Applicable	
5.2.6	Engaged piers	Non-Applicable	
Part 5.3 – Cavity masonry			Comments
5.3.1	Application	Non-Applicable	
5.3.2	Height of wall limitation	Non-Applicable	
5.3.3	External walls	Non-Applicable	
5.3.4	Internal walls	Non-Applicable	
5.3.5	Openings in cavity masonry	Non-Applicable	
5.3.6	Damp-proof courses and flashing materials	Non-Applicable	
5.3.7	Vertical articulation joints	Non-Applicable	
Part 5.4 – Unreinforced single leaf masonry			Comments
5.4.1	Application	Non-Applicable	
5.4.2	External walls	Non-Applicable	
5.4.3	Internal walls	Non-Applicable	
5.4.4	Vertical articulation joints	Non-Applicable	
5.4.5	Damp-proof courses and flashing materials	Non-Applicable	
Part 5.5 – Isolated piers			Comments
5.5.1	Application	Non-Applicable	
5.5.2	Isolated piers supporting carports, verandahs, porches and similar roof structures	Non-Applicable	


5.5.3	Isolated piers supporting tiled roofs	Non-Applicable	
5.5.4	Isolated piers supporting sheet roofs	Non-Applicable	
5.5.5	Isolated piers for freestanding carports	Non-Applicable	
5.5.6	Subfloor isolated piers	Non-Applicable	
Part 5.6 – Masonry components and accessories			Comments
5.6.1	Application	Non-Applicable	
5.6.2	Masonry units	Non-Applicable	
5.6.3	Mortar mixes	Non-Applicable	
5.6.4	Mortar joints	Non-Applicable	
5.6.5	Wall ties	Non-Applicable	
5.6.6	Fixing straps and tie-down systems	Non-Applicable	
5.6.7	Lintels	Non-Applicable	
5.6.8	Vertical articulation joints	Non-Applicable	
Part 5.7 – Weatherproofing of masonry			Comments
5.7.1	Application	Non-Applicable	
5.7.2	Cavities	Non-Applicable	
5.7.3	Damp-proof courses and flashings – material	Non-Applicable	
5.7.4	Damp-proof courses and flashings – installation	Non-Applicable	
5.7.5	Weepholes	Non-Applicable	
5.7.6	Weatherproofing for single leaf masonry walls	Non-Applicable	
Section 6 – Framing			
Part 6.1 – Scope and application of Section 6			Comments

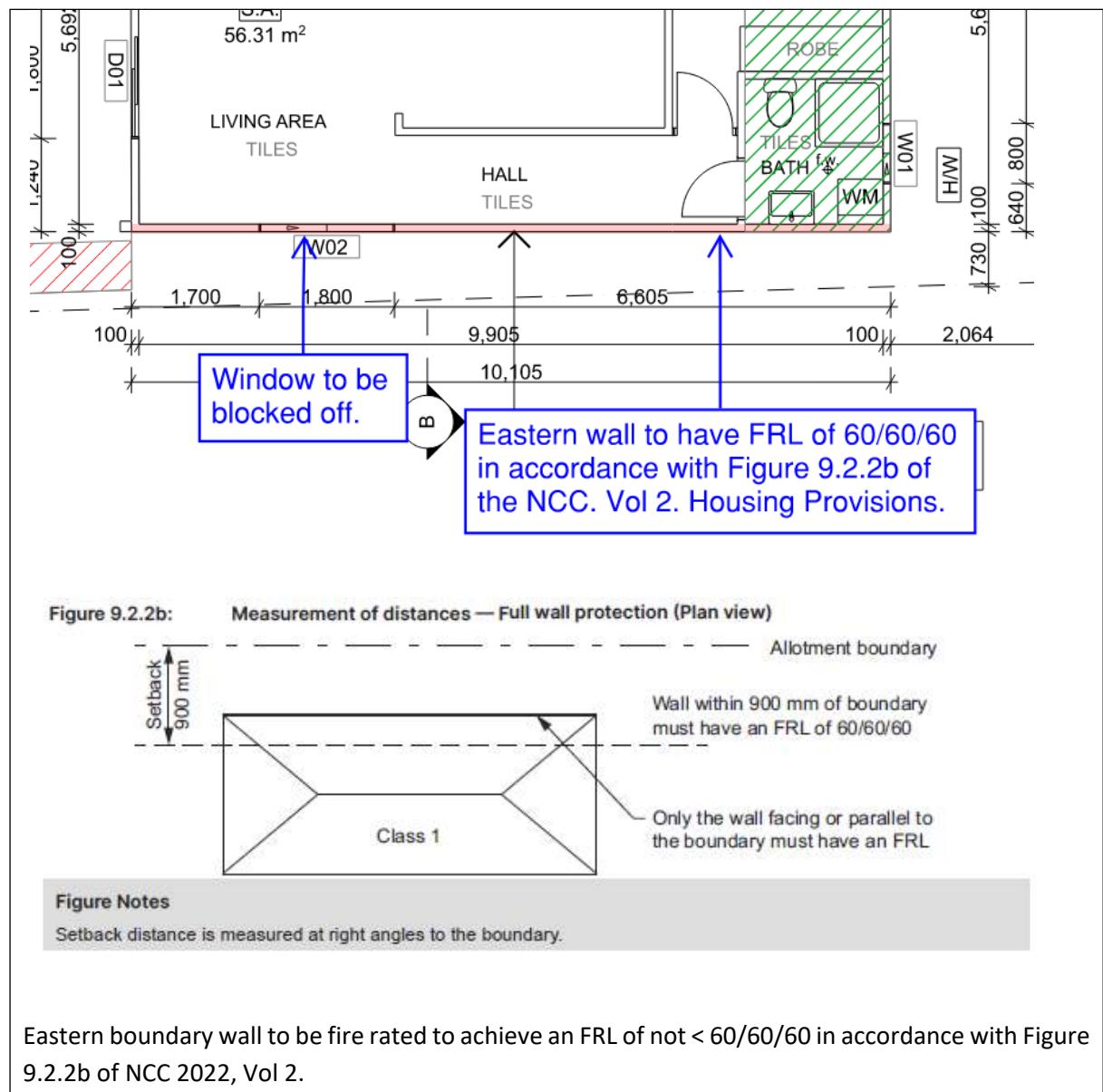
6.1.1	Scope	Capable	Scope noted.
6.1.2	Application	Capable	Application noted.
Part 6.2 – Subfloor ventilation			Comments
6.2.1	Subfloor Ventilation	Non-Applicable	Slab on ground
Part 6.3 – Structural steel members			Comments
6.3.1	Application	Non-Applicable	No structural steel
6.3.2	Structural steel members	Non-Applicable	
6.3.3	Bearers	Non-Applicable	
6.3.4	Strutting beams	Non-Applicable	
6.3.5	Lintels	Non-Applicable	
6.3.6	Columns	Non-Applicable	
6.3.7	Fixings and bearing for structural steel members	Non-Applicable	
6.3.8	Penetrations through structural steel members	Non-Applicable	
6.3.9	Corrosion protection	Non-Applicable	
Section 7 – Roof and wall cladding			
Part 7.1 – Scope and application of Section 7			Comments
7.1.1	Scope	Non-Applicable	Scope noted.
7.1.2	Application	Non-Applicable	Application noted.
Part 7.2 – Sheet roofing			Comments
7.2.1	Application	Non-Applicable	<p>Part 7.2 need not apply if sheet roofing complies with H1D7(2)(a) or (b). Part 7.2 applies subject to limitations in H1D7(2)(c).</p> <p>Performance Requirement H1P1 is satisfied for sheet roofing if it complies with AS 1562.1.</p> <p>A suitable qualified roof contractor may provide details demonstrating compliance with AS 1562.1</p>

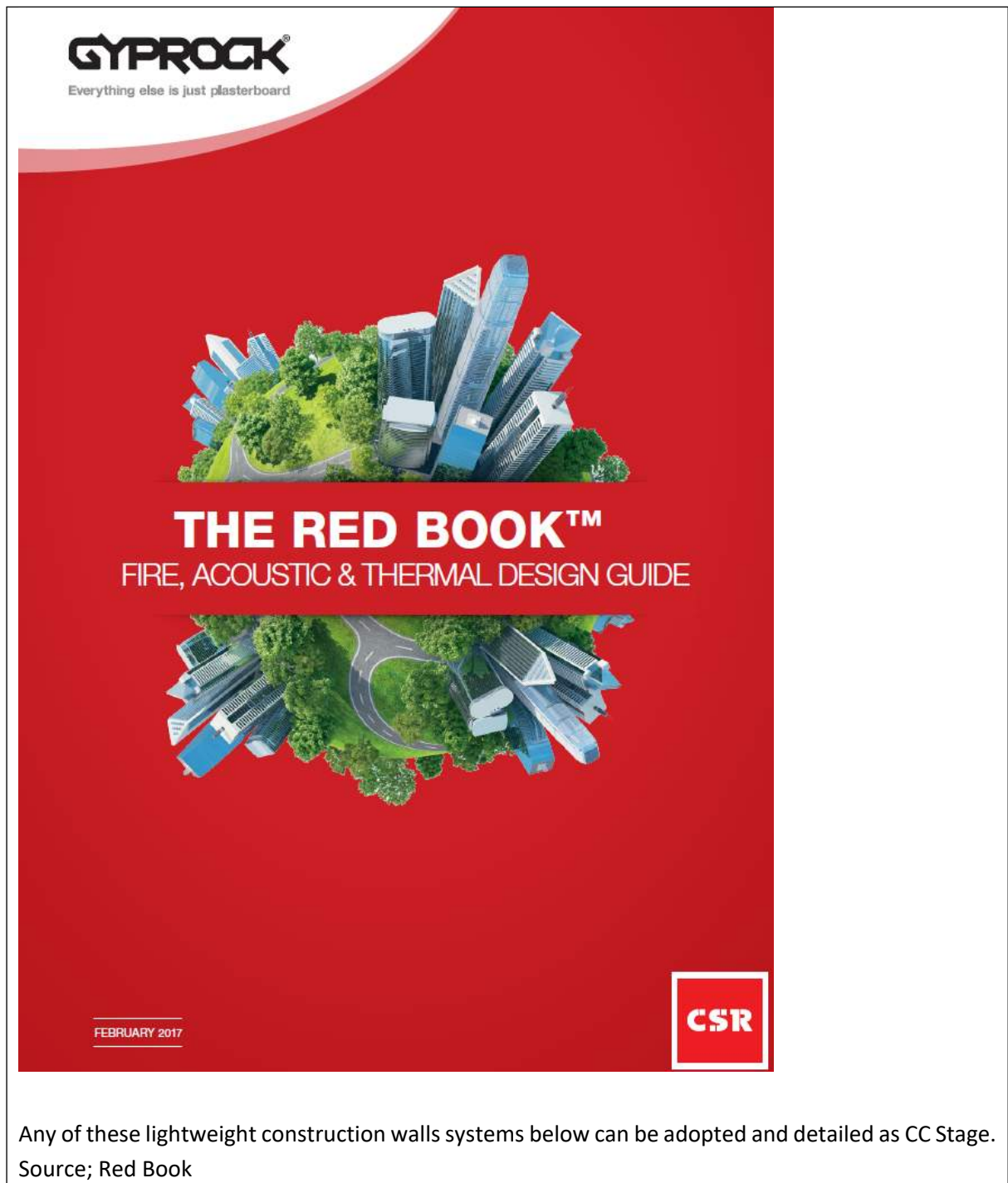
7.2.2	Corrosion protection and compatibility requirements for roofing	Capable	A suitable qualified roof contractor may provide details demonstrating compliance with AS 1562.1
7.2.3	Minimum pitches for metal sheet roofing profiles	Capable	A suitable qualified roof contractor may provide details demonstrating compliance with AS 1562.1
7.2.4	Maximum spans	Capable	A suitable qualified roof contractor may provide details demonstrating compliance with AS 1562.1
7.2.5	Fixing of metal sheet roofing	Capable	A suitable qualified roof contractor may provide details demonstrating compliance with AS 1562.1
7.2.6	Installation of roofing sheets	Capable	A suitable qualified roof contractor may provide details demonstrating compliance with AS 1562.1
7.2.7	Flashings and cappings	Capable	A suitable qualified roof contractor may provide details demonstrating compliance with AS 1562.1
7.2.8	Water discharge	Capable	A suitable qualified roof contractor may provide details demonstrating compliance with AS 1562.1. Downpipes to be connected to storm water system
Part 7.3 – Roof tiles and shingles			Comments
7.3.1	Application	Non-Applicable	Metal roof.
7.3.2	Fixing of roof tiles and ancillaries	Non-Applicable	
7.3.3	Flashing	Non-Applicable	
7.3.4	Sarking	Non-Applicable	
7.3.5	Anti-ponding device/board	Non-Applicable	
7.3.6	Water discharge	Non-Applicable	
Part 7.4 – Gutters and downpipes			Comments
7.4.1	Application	Compliance	Part 7.4 need not apply if gutters and downpipes comply with H2D6(1)(a). Part

			7.4 applies subject to H2D6(2) and limitations in H2D6(3).
7.4.2	Materials	Capable	Hydraulic engineer or Licenced plumber to certify materials.
7.4.3	Selection of guttering	Capable	Hydraulic engineer or Licenced plumber to certify gutters.
7.4.4	Installation of gutters	Capable	Hydraulic engineer or Licenced plumber to certify gutters.
7.4.5	Downpipes – size and installation	Capable	Downpipes to be connected to storm water system and certified by licenced plumber.
7.4.6	Acceptable continuous overflow measure	Capable	Downpipes to be connected to storm water system and certified by licenced plumber.
7.4.7	Acceptable dedicated overflow measure per downpipe	Capable	Downpipes to be connected to storm water system and certified by licenced plumber.
Part 7.5 – Timber and composite wall cladding			Comments
7.5.1	Application	Non-Applicable	No timber walling panels.
7.5.2	Timber wall cladding	Non-Applicable	
7.5.3	Wall cladding boards	Non-Applicable	
7.5.4	Sheet wall cladding	Non-Applicable	
7.5.5	Eaves and soffit linings	Non-Applicable	
7.5.6	Flashings to wall openings	Non-Applicable	
7.5.7	Clearance between cladding and ground	Non-Applicable	
7.5.8	Parapet cappings	Non-Applicable	
Section 8 – Glazing			
Part 8.1 – Scope and application of Section 8			Comments
8.1.1	Scope	Compliance	Scope noted.
8.1.2	Application	Compliance	Application noted.
Part 8.2 – Windows and external glazed doors			Comments

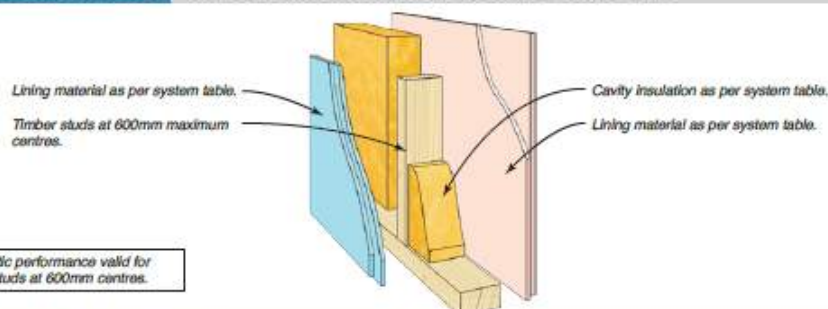
8.2.1	Application	Compliance	Part 8.2 applies subject to limitations in H1D8(1) and (2).
8.2.2	Installation of windows	Compliance	Installation of windows to comply with the requirement of this clause.
Part 8.3 – Glass			Comments
8.3.1	Application	Compliance	Application noted.
8.3.2	Glazing sizes and installation	Capable	Certification to be provided for windows and glassed constructed and installed in accordance with for glass, AS 1288 and for windows, AS 2047.
8.3.3	Fully framed glazing installed in perimeter of buildings	Non-Applicable	No fully framed glazing.
Part 8.4 – Glazing human impact			Comments
8.4.1	Application	Capable	Application noted
8.4.2	Doors, side panels and other framed glazed panels	Compliance	Glazing certificate to be obtained from supplier and installer to confirm compliance with AS 1288 & AS 2047.
8.4.3	Door side panels	Non-Applicable	
8.4.4	Full height framed glazed panels	Non-Applicable	
8.4.5	Glazed panels, other than doors or side panels, on the perimeter of rooms	Non-Applicable	
8.4.6	Kitchen, bathroom, ensuite, spa room and splash-back glazing	Capable	Glazing certificate to be obtained from supplier and installer to confirm compliance with AS 1288 & AS 2047.
8.4.7	Visibility of glazing	Compliance	
8.4.8	Identification of safety glass	Capable	Glazing certificate to be obtained from supplier and installer to confirm compliance with AS 1288 & AS 2047.
Section 9 – Fire safety			
Part 9.1 – Scope and application of Section 9			Comments
9.1.1	Scope	Non-Applicable	Scope noted.




9.1.2	Application	Non-Applicable	Application noted.
Part 9.2 – Fire separation of external walls			Comments
9.2.1	External walls of Class 1 buildings	Non-Compliance	<p>The Class 10 structure is greater than 1.8m from the Class 1 dwelling is situated on the lot.</p> <p>However, Fire separation of external walls is to comply with Part 9.2 of the Housing Provisions where required. Additional fire rating of (FRL 60/60/60) is required to eastern boundary wall.</p> <p>2 layers of fire rated gyprock (Fyrchek) and covered by fibre cement sheeting for external waterproofing purposes.</p>
			





SYSTEM SPECIFICATIONS Timber Frame Internal Wall Systems – Single Stud



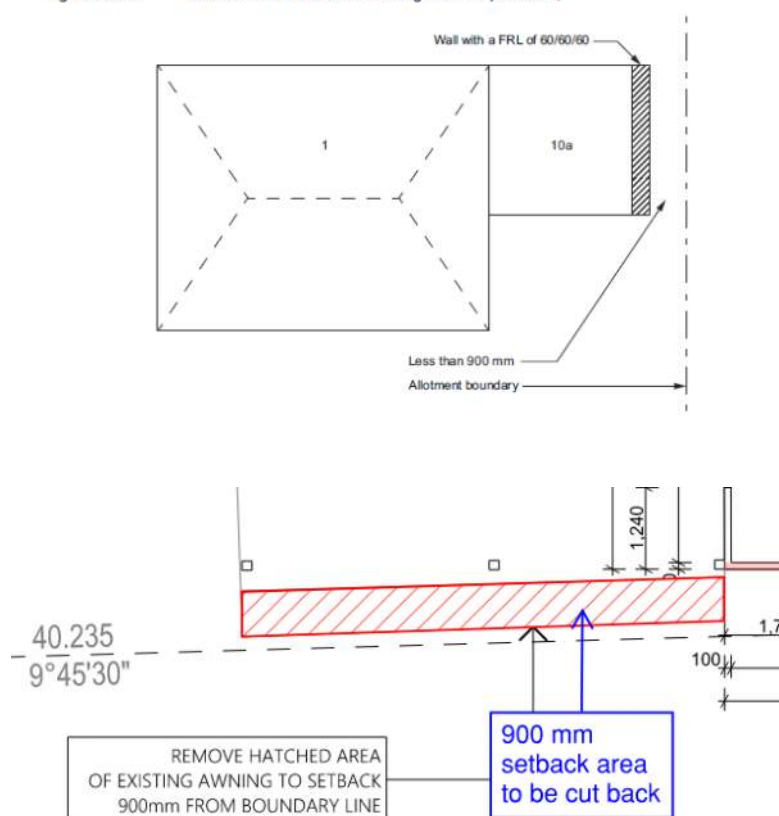
SYSTEM OPTIONS Refer to GYP547 Gyprock Residential Installation Guide for further information			ACOUSTIC OPINION: PKA Predictor V16				
FRL Report/Opinion	SYSTEM N°	WALL LININGS	STUD DEPTH mm	70	90	120	140
			CAVITY INFILL (Refer to TABLE B13)	R _w / R _w +C _{tr}			
- /60/60 60/60/60 (from both sides) FAR 2303		BOTH SIDES • 1 x 16mm Gyprock Fyrehek Plasterboard.	(a) Nil	33/26	36/29	38/32	38/32
			(b) 75 Gold Batts 1.5	38/29	41/32	43/35	43/35
			(c) 70 Soundscreen 2.0	39/30	42/33	44/36	43/35
			(d) MSB3 Polyester	36/28	39/31	41/34	40/33
			Wall Thickness mm	102	122	152	172
- /60/60 60/60/60 (from both sides) FAR 2303		SIDE ONE • 1 x 16mm Gyprock Fyrehek MR Plasterboard. SIDE TWO • 1 x 16mm Gyprock Fyrehek Plasterboard.	(a) Nil	35/28	37/30	39/33	40/34
			(b) 75 Gold Batts 1.5	40/31	42/33	44/36	45/37
			(c) 70 Soundscreen 2.0	41/32	43/34	45/37	45/37
			(d) MSB3 Polyester	38/30	40/32	42/35	42/35
			Wall Thickness mm	102	122	152	172
- /60/60 60/60/60 (from both sides) FAR 2303		BOTH SIDES • 1 x 16mm Gyprock Fyrehek MR Plasterboard.	(a) Nil	37/30	38/31	40/34	41/35
			(b) 75 Gold Batts 1.5	42/33	43/34	45/37	46/38
			(c) 70 Soundscreen 2.0	43/34	44/35	46/38	46/38
			(d) MSB3 Polyester	40/32	41/33	43/36	43/36
			Wall Thickness mm	102	122	152	172

9.2.2	Measurement of distances	Noted	
9.2.3	Construction of external walls	Compliance	Construction of fire walls not required, as outlined in 9.2.1. Development in accordance with Figure 9.2.5d.
9.2.4	Class 10a buildings	Compliance	<p>9.2.4(1)(a) The Class 10a building is located between a Class 1 building and side a boundary. Proceed to clause 9.2.5 as required.</p> <p>A Class 1 building (Proposed Secondary Dwelling) must be protected by a method in 9.2.5 below, due to Class 10a attached verandah structure is located between or adjacent to a Class 1a building (Proposed</p>

			<p>Secondary Dwelling) and the main principal dwelling, and a boundary alignment (Rear) that is not a boundary with a road alignment or other public space.</p> <p>This would facilitate the spread of heat fumes and smoke in the event of fire. It must be setback min. or 900 mm from side boundary and 1800 mm from the edge of the attached awning of the principal dwelling as noted on the marked-up plan.</p> <p>Blue board walls to be removed.</p>
<div data-bbox="252 840 1173 1818">  </div> <p>Blue board walls to be removed.</p>			
9.2.5	Protection of Class 1 buildings – Class 10a between Class 1 and	Non-Compliance	9.2.5(b) The Class 1 building is less than 900 mm from the Class 10a verandah structure in accordance with Figure

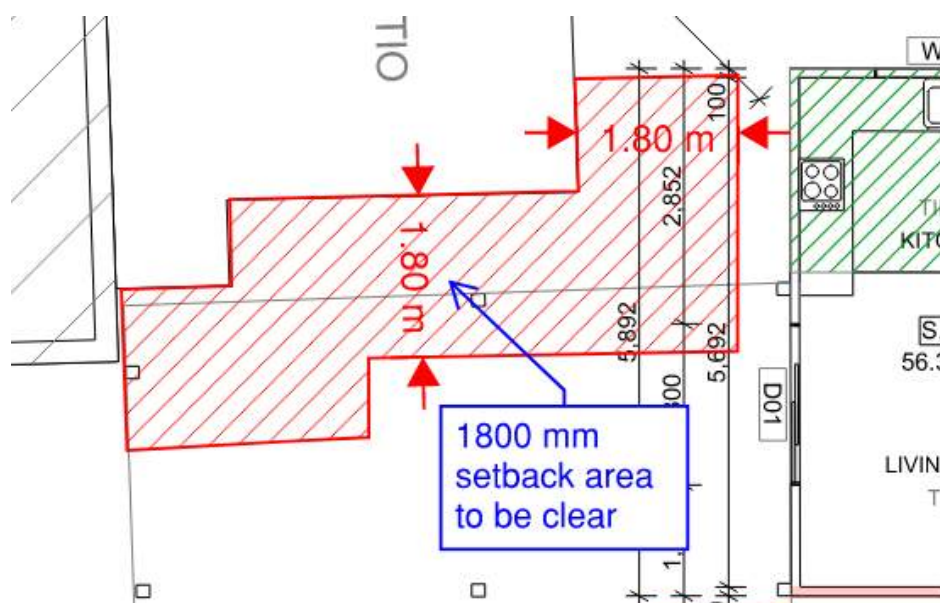
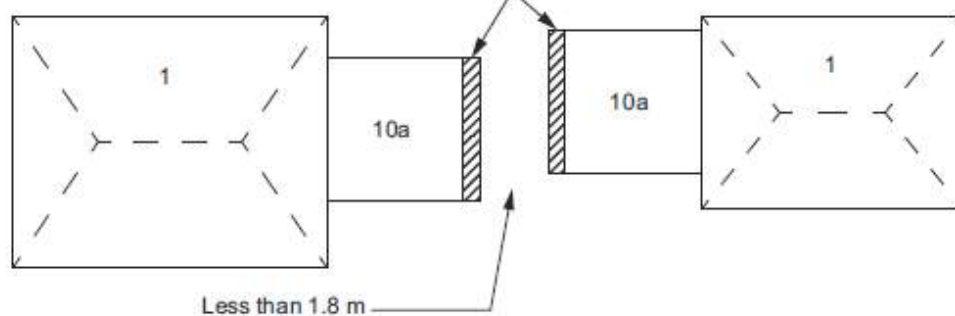
	the allotment boundary		9.2.5d. Distance from boundary is < 900 mm. Adequate fire protection can be achieved by cutting back the carport roof as noted below.
--	------------------------	--	--

Figure 9.2.5b: External wall to Class 10a building with FRL (method 1)



9.2.6	Protection of Class 1 buildings – Class 10a between Class 1 and other buildings on allotment	Non-Applicable	Refer to notes within clause 9.2.5
9.2.7	Protection of Class 1 buildings – separation of Class 10a buildings on an allotment	Non-Compliance	Refer to notes within clause 9.2.5 Class 10 a roof verandah and carport are less than 1.8m from each other within the same allotment. They need to be cut back.

Wall with a FRL of 60/60/60



9.2.8	Open carports	Non-Compliance	Refer to 9.2.5 and 9.2.7. Exemption of open carport does not apply as it is not open from 3 sides.
9.2.9	Allowable encroachments	Compliance	Encroachments of gutters and fascias are from non-combustible materials.
9.2.10	Roof lights	Non-Applicable	No roof lights.
Part 9.3 – Fire protection of separating walls and floors			Comments
9.3.1	Separating walls	Non-Applicable	No separating walls.
9.3.2	Services in separating walls	Non-Applicable	
9.3.3	Roof lights	Non-Applicable	

9.3.4	Horizontal projections	Non-Applicable	
Part 9.4 – Fire protection of garage top dwellings			Comments
9.4.1 (NSW)	Fire separation	Non-Applicable	No garage top dwelling.
9.4.2 (NSW)	Construction of floors	Non-Applicable	
9.4.3 (NSW)	Construction of walls	Non-Applicable	
Part 9.5 – Smoke alarms and evacuation lighting			Comments
9.5.1 (NSW)	Smoke and heat alarm requirements	Non-Compliance	Smoke alarm to be installed and be hardwired connected to power and certified by licenced electrician complying with Australian Standards AS3786.
9.5.2	Location – Class 1a buildings	Non-Compliance	Smoke alarms is to comply with Part 9.5 of the Housing Provisions for Class 1 building.

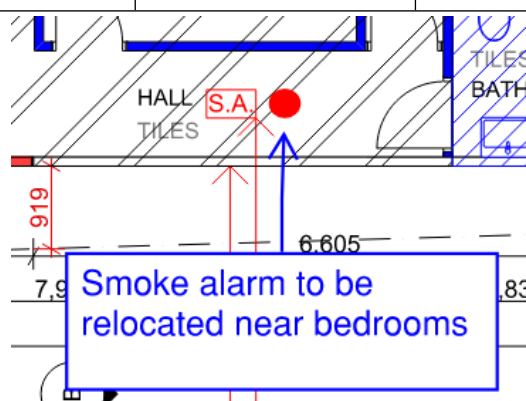
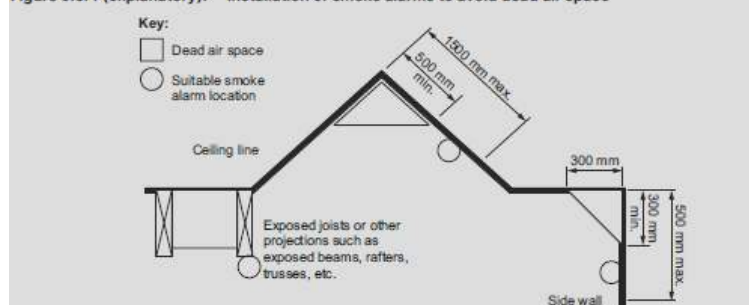
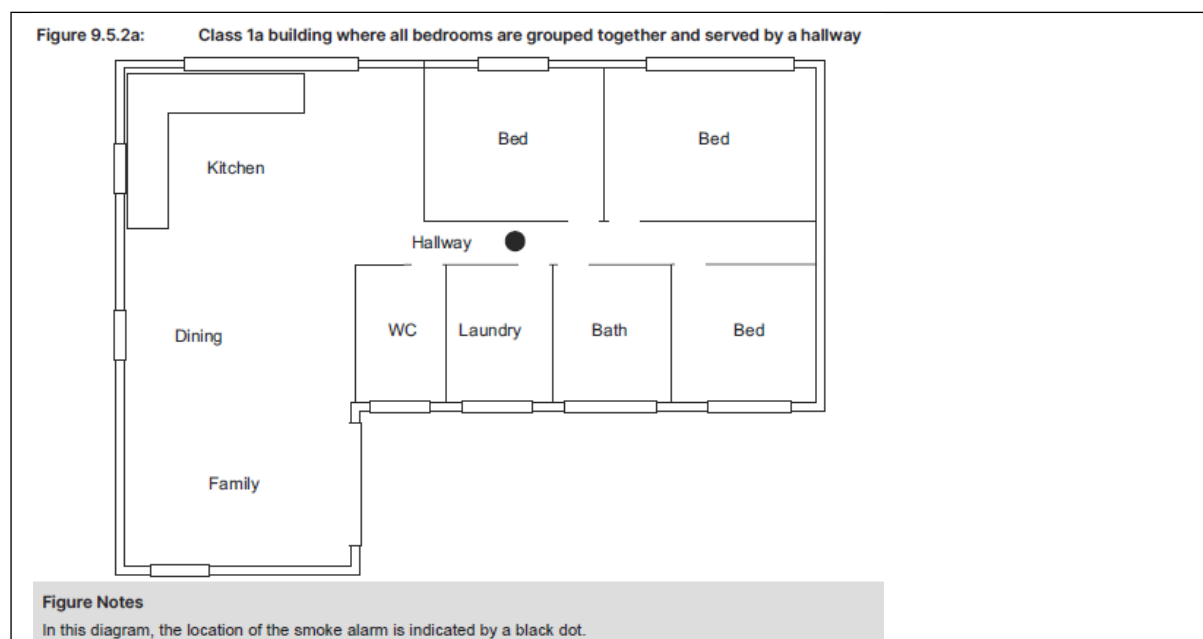


Figure 9.5.4 (explanatory): Installation of smoke alarms to avoid dead air space









9.5.3	Location – Class 1b buildings	Non-Applicable	Class 1a.
9.5.4	Installation of smoke alarms	Capable	Smoke alarms to be hardwired as per AS3786. To be certified by licenced Electrician.
9.5.5	Lighting to assist evacuation – Class 1b buildings	Non-Applicable	Class 1a.

Section 10 – Health and Amenity

Part 10.1 – Scope and application of Section 10			Comments
10.1.1	Scope	Capable	Scope noted.
10.1.2	Application	Capable	Application noted.
Part 10.2 – Wet area waterproofing			Comments
10.2.1	Wet areas	Capable	Building elements in wet areas within a building must be protected with a waterproofing system. The waterproofing system must be either waterproof or water resistant in accordance with 10.2.2 – 10.2.6. Subject to waterproofing certification by licenced water proofer.
10.2.2	Shower area (enclosed and unenclosed)	Capable	Wet area components and systems are to comply with the housing provisions or AS 3740 as relevant.

			Waterproofing certificate to be provided to confirm compliance.
10.2.3	Area outside shower area	Capable	Wet area waterproofing to be certified by licenced water-proofer to verify compliance with AS 3740.
10.2.4	Areas adjacent to baths and spas without showers	Non-Applicable	
10.2.5	Other areas	Non-Applicable	
10.2.6	Waterproofing systems	Capable	Waterproofing certificate to be provided to confirm compliance.
10.2.7	Materials	Capable	Waterproofing certificate to be provided to confirm compliance.
10.2.8	Materials – waterproof	Capable	Waterproofing certificate to be provided to confirm compliance.
10.2.9	Materials – water resistant substrates	Non-Applicable	
10.2.10	Materials – water resistant surface materials	Compliance	Wet area waterproofing to be certified by licenced water-proofer to verify compliance with AS 3740.
10.2.11	Construction of wet areas – wall and floor substrate materials	Capable	Waterproofing certificate to be provided to confirm compliance.
10.2.12	Construction of wet area floors – falls	Capable	Waterproofing certificate to be provided to confirm compliance.
10.2.13	Construction of wet areas – wall and floor surface materials	Capable	Waterproofing certificate to be provided to confirm compliance.
10.2.14	Shower area requirements	Capable	Wet area waterproofing to be certified by licenced water-proofer to verify compliance with AS 3740.
10.2.15	Stepdown showers	Non-Applicable	
10.2.16	Hob construction	Non-Applicable	
10.2.17	Enclosed showers with level threshold (without hob or set down)	Non-Applicable	

10.2.18	Unenclosed showers	Non-Applicable	
10.2.19	Preformed shower bases	Non-Applicable	
10.2.20	Baths and spas	Non-Applicable	
10.2.21	Membrane installation for screed	Non-Applicable	
10.2.22	Substrate surface preparation for application of membrane	Non-Applicable	
10.2.23	Penetrations	Capable	
10.2.24	Flashings / junctions	Capable	Wet area waterproofing to be certified by licenced water-proofer to verify compliance with AS 3740.
10.2.25	Shower area floor membrane application	Capable	
10.2.26	Shower area membrane requirements for wall sheeting substrates	Capable	Waterproofing certificate to be provided to confirm compliance.
10.2.27	Bond breaker installation for bonded membranes	Capable	Wet area waterproofing to be certified by licenced water-proofer to verify compliance with AS 3740.
10.2.28	Installation of internal membranes	Non-Applicable	
10.2.29	Membrane to drainage connection	Non-Applicable	
10.2.30	Drainage riser connection	Non-Applicable	
10.2.31	Door jambs on tiled floors	Non-Applicable	
10.2.32	Shower screens	Non-Applicable	
Part 10.3 – Room heights			Comments / Method of Construction
10.3.1	Height of rooms and other spaces	Compliance	Room heights complies with Part 10.3 of the Housing Provisions.

Part 10.4 – Facilities			Comments / Method of Construction
10.4.1	Required facilities	Non-Compliance	<p>Facilities are to comply with Part 10.4 (1)(c) of the Housing Provisions. A Class 1 building must be provided with clothes washing facilities, comprising at least one washtub and space in the same room for a washing machine.</p> <p>Washtub in the same bathroom for a washing machine is required.</p>
<div style="display: flex; justify-content: space-around;">    </div> <div style="margin-top: 20px;">  </div>			
10.4.2	Construction of sanitary compartments	Non-Applicable	
Part 10.5 – Light			Comments
10.5.1	Natural light	Compliance	Natural lighting complies with Part 10.5 of the Housing Provisions.
10.5.2	Artificial lighting	Compliance	
Part 10.6 – Ventilation			Comments

10.6.1	Application	Compliance	Part 10.6 need not apply if ventilation complies with H4D6(1). Part 10.6 applies subject to limitations in H4D6.
10.6.2	Ventilation requirements	Compliance	Natural ventilation complies with Part 10.6 of the Housing Provisions, or AS1668.2 as relevant.
10.6.3	Location of sanitary compartments	Compliance	
Part 10.7 – Sound insulation			Comments
10.7.1	Sound insulation requirements	Non-Applicable	
10.7.2	Determination of airborne sound insulation ratings	Non-Applicable	
10.7.3	Construction of sound insulated walls	Non-Applicable	
10.7.4	Services	Non-Applicable	
10.7.5	Acceptable forms of construction for masonry walls	Non-Applicable	
10.7.6	Acceptable forms of construction for concrete walls	Non-Applicable	
10.7.7	Acceptable forms of construction for autoclaved aerated concrete walls	Non-Applicable	
10.7.8	Acceptable forms of construction for timber and steel framed walls	Non-Applicable	
Part 10.8 – Condensation management			Comments
10.8.1	External wall construction	Non-Applicable	Where a pliable building membrane is installed in an external wall, it must comply with AS 4200.1; and be installed in accordance with AS 4200.2; and be located on the exterior side of the primary insulation layer of wall

			assemblies that form the external envelope of a building.
10.8.2	Exhaust systems	Capable	Exhaust from bathroom or sanitary compartment; kitchen range hood must discharge directly or via a shaft or duct to outdoor air. To be confirmed by licensed electrician contractor.
10.8.3	Ventilation of roof spaces	Non-Applicable	Roof Ventilation is adequate.
Section 11 – Safe movement and access			
Part 11.1 – Scope and application of Section 11			Comments
11.1.1	Scope	Noted	Scope noted.
11.1.2	Application	Noted	Application noted.
Part 11.2 – Stairway and ramp construction			Comments
11.2.1	Explanation of terms	Non-Applicable	Figure 11.2.1 noted.
11.2.2	Stairway construction	Non-Applicable	No stairways.
11.2.3	Ramps	Non-Applicable	No ramps.
11.2.4	Slip resistance	Non-Applicable	
11.2.5	Landings	Non-Applicable	
11.2.6	Thresholds	Compliance	
Part 11.3 – Barriers and handrails			Comments
11.3.1	Application	Non-Applicable	
11.3.2	Explanation of terms	Noted	Figure 11.3.2 noted.
11.3.3	Barriers to prevent falls	Non-Applicable	
11.3.4	Construction of barriers to prevent falls	Non-Applicable	
11.3.5	Handrails	Non-Applicable	
11.3.6	Construction of wire barriers	Non-Applicable	

11.3.7	Protection of openable windows – bedrooms	Non-Applicable	
11.3.8	Protection of openable windows – rooms other than bedrooms	Non-Applicable	
Section 12 – Ancillary provisions			
Part 12.1 – Scope and application of Section 12			Comments
12.1.1	Scope	Noted	Scope noted.
12.1.2	Application	Noted	Application noted.
Part 12.2 – Construction in alpine areas			Not applicable in the Liverpool LGA.
Part 12.3 – Attachment of framed decks and balconies to external walls of buildings using a waling plate			Comments
12.3.1	Application	Non-Applicable	
12.3.2	Fixing decks and balconies to external walls	Non-Applicable	
12.3.3	Flashings to the junction of the waling plate and external wall	Non-Applicable	
12.3.4	Bracing	Non-Applicable	
Part 12.4 – Heating appliances, fireplaces, chimneys and flues			Comments
12.4.1	Application	Non-Applicable	
12.4.2	Open fireplace construction	Non-Applicable	
12.4.3	Chimney construction	Non-Applicable	
12.4.4	Installation of insert fireplaces and flues	Non-Applicable	
12.4.5	Installation of free-standing heating appliances	Non-Applicable	
Section 13 – Energy efficiency			
13.1.1	Scope	Noted	Scope noted.

(NSW)			
13.1.2 (NSW)	Application	Non-Applicable	Application noted.
Part 13.2 (NSW) – Building fabric			Comments
13.2.1 (NSW)	Application of Part 13.2	Non-Applicable	Part 13.2.2, NSW Part 13.2.3, NSW Part 13.2.5 and NSW Part 13.2.6 apply to a Class 1 or 10 building where a development consent specifies that the insulation be provided. NSW Part 13.2.3 and NSW Part 13.2.5 apply to all Class 1 buildings and Class 10a buildings with a <i>conditioned space</i> .
13.2.2	Building fabric thermal insulation	Non-Applicable	In NSW, Class 1 buildings, and certain Class 10 buildings are subject to BASIX (the Building Sustainability Index). The building alterations to the existing garage Class 10a, would be subject to Basix certificate. To be confirmed by Architect or Builder if cost of works is expected to be > \$50,000.
13.2.3 (NSW)	Roofs and ceilings	Non-Applicable	Refer to Basix where applicable.
13.2.5 (NSW)	External walls	Non-Applicable	Refer to Basix where applicable.
13.2.6 (NSW)	Floors and subfloor walls	Non-Applicable	Refer to Basix where applicable.
Part 13.4 (NSW) – Building sealing			Comments
13.4.1 (NSW)	Application of Part 13.4	Non-Applicable	Refer to Basix where applicable.
Part 13.7 (NSW) – Services			Comments
13.7.1 (NSW)	Application of Part 13.7	Non-Applicable	Refer to Basix where applicable.

3.1 Summary General

Arising from the assessment summary of this Report, it is evident that there are areas of non-compliances with the current standards as prescribed by the Building Code of Australia 2022.

The following strategy has been prepared in order to achieve a suitable level of BCA compliance for the conversion of the existing garage secondary dwelling.

The intent of this strategy is to address the main areas of non-compliances that poses the greatest risk to the life safety of building occupants, property protection, fire spread, amenity / sustainability and that the proposed conversion is fit for the purpose for which it is intended.

3.2 General Upgrade Strategy

The items listed below detail the recommended works required in order to provide an improved level of fire safety and compliance with the BCA Housing Provisions within the subject building as detailed in this report.

These recommendations are in respect of the non-compliances identified regarding the Class 10 building. The following recommendations are to address the current deficient issues within the proposed building which have been observed.

Arising from our assessment, the following is a summary of the holistic BCA deficient issues that will require addressing.

3.3 Recommended Works

As detailed in the above section 3.0 of this report:

1. A suitable qualified profession engineer is to certify that the timber framing is in accordance with AS1684.2 or AS 1684.4.
2. Engineer to certify structure, new & existing slab and footings.
3. Licensed Plumber to confirm compliance of existing and proposed stormwater system to be connected to existing stormwater system, including downpipes and gutters.
4. Licensed plumber to connect downpipes to stormwater system and to certify all plumbing works in accordance with BCA and any relevant Australian Stanbadards.
5. Licensed Pest Controller to confirm Installation of a suitable termite barrier system on the perimeter of the outbuilding and certify the work and install a new durable notice.
6. Wet area waterproofing to be certified by licenced water-proofer to verify compliance with AS 3740, in accordance with BCA 10.2 requirements.
7. Glazing certificate to be obtained from supplier and installer to confirm compliance with NCA and AS 1288 & AS 2047.
8. Exhaust from bathroom or sanitary compartment; must discharge directly or via a shaft or duct to outdoor air. To be confirmed by Licensed electrician.
9. All electrical works to be certified by licenced Electrician.
10. Smoke alarms to be reinstated to be relocated near bedrooms and hardwired as per AS3786. To be certified by licenced Electrician.
11. Exhaust from a kitchen, & kitchen range hood and bathroom, must discharge directly or via a shaft or duct to outdoor air, to be certified by licenced Electrician.
12. Install new washtub for a washing machine in the same bathroom.

4.0 Conclusion

Generally, the building would achieve a level of BCA compliance that is expected at this stage of construction, there are some areas that may have design ramifications and will need to be worked through, specifically regarding third party certification for works which will be completed subject to Construction Certificate and required critical stage inspections.

That aside it is expected that the building will be able to achieve a level of BCA compliance, and that the building will achieve this through a combination of deemed to satisfy and performance provisions on the BCA, subject to further details and assessment by Council.



Prepared by
Firas Naji – Senior Building Surveyor – Fire Safety
Restricted All classes of building (BDC 3315)
Town Planning Consultant

www.silverend.com.au

Academic Qualifications

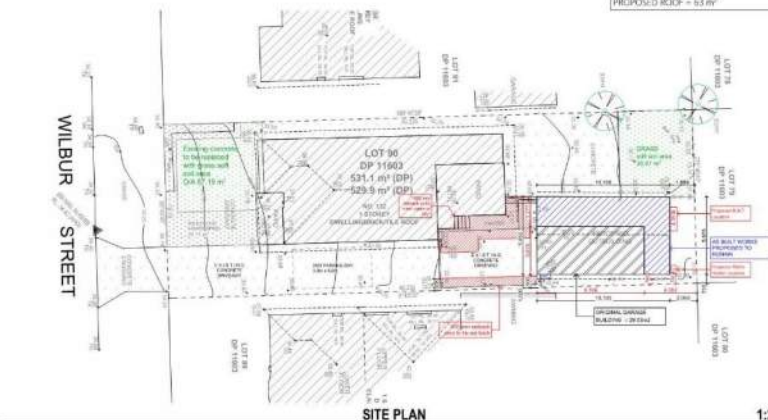
- Diploma of Architectural Technology - TAFE
- Bachelor of Design in Architecture - UTS
- Master of Urban Management and Planning - UWS
- Advanced Diploma of Building Surveying – TAFE
- Graduate Diploma of Building Surveying – UNISA

Assessed plans





DA - CALCULATIONS
TOTAL SITE AREA = 531 Isom
FLOOR AREA
EXISTING = 110 m²
PROPOSED GRANNY FLAT = 56.5 m²
TOTAL COMBINED AREA = 166.5 m²
ie / FSR = 0.32:1
LANDSCAPE AREA
Permeable surfaces = 215.2 m² = 40.5%
Green Area = 358.67 m² = 31.8%
GRANNY FLAT ROOF AREA
PROPOSED ROOF = 63 m²



LOCATION

[illegible]

LEGEND

- | | | | |
|------|-----------------------|---|--------------------------|
| f.w. | FLOOR WASTE |  | AS BUILT WORKS TO REMAIN |
| S.A. | SMOKE ALARM |  | PROPOSED NEW WORKS |
| H/W | HOT WATER SYSTEM |  | ORIGINAL GARAGE |
| A/C | AIR-CONDITIONING UNIT |  | RAIN WATER TANK |

Allow + or - 200 mm on all RL(S) on plans. All levels are subject to final determination on site.
All work on this drawing must not be used or altered in any way without the consent from the Premium Quality Group Pty Ltd copyright ©

www.dialbeforeyoudig.com

 **DIAL 1100**
BEFORE YOU DIG

PROJECT:	132 Wilbur St, Greensboro (NSW) 2109
	CLIENT:
	MR CESAR DACCUN
	PROJECT No.: 001/23

DRAWING No.	1 OF 3
DATE:	19/03/2004
SCALE:	AS SHOWN (A1)
DRAWN BY:	

Frederic Quality Group
Pty Ltd
ACN 868 346 257
E: PGQ2023@gmail.com
M: +61 800 007 227
80 Herve Parade Lakeside NSW
2170

**Premium
Quality**
Accident Building
Designer No. 6020

STANDARD SPECIFICATION

BE ADVISED: SOME CLAUSES IN THIS SPECIFICATION MAY NOT BE RELEVANT TO THIS PROJECT.

- [illegible]

- [illegible]

- [illegible]

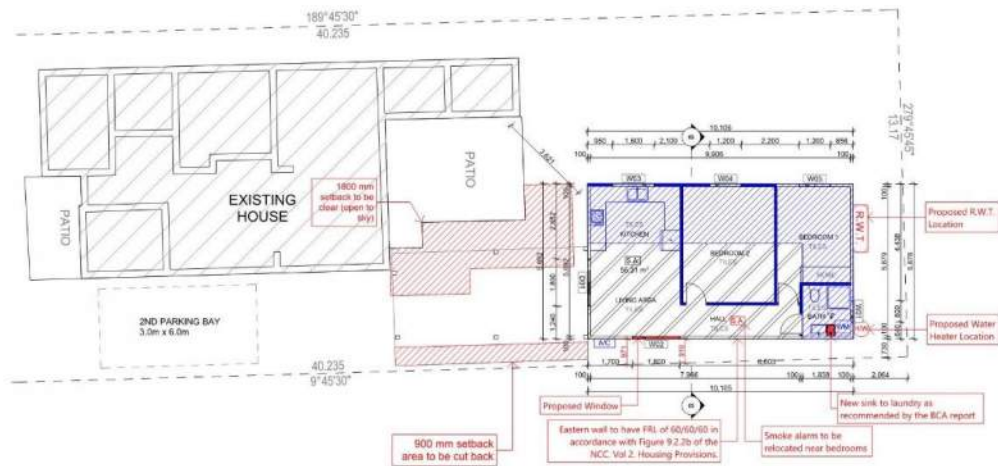
ISSUE	REVISION	DATE
A	INITIAL SUBMISSION	3/10/2011
B	AMENDED SUBMISSION	1/10/2012

CLIENT	MR OMAR DADDOUN
PROJECT No.	001/23

DRAWING No.	2 OF 3
DATE:	11/03/2004
SCALE:	AS SHOWN (A)
DRAWN BY:	

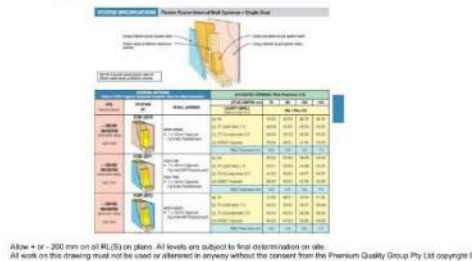
Precision Quality Group
 Pty Ltd
 ACN: 606 344 257
 E: PQG2023@gmail.com
 M: +61 860 007 027
 40 Hillview Parade Lances Hill
 2170

**Premium
Quality**
Accredited Building
Designer No. 0201



GROUND FLOOR PLAN

1:100

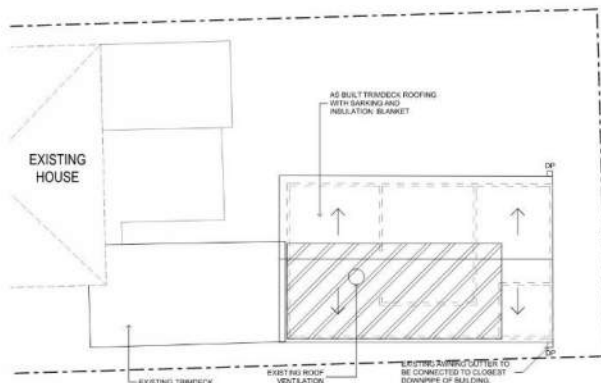


LEGEND

- f.w. FLOOR WASTE
S.A. SMOKE ALARM
H.W. HOT WATER SYSTEM
A/C AIR-CONDITIONING UNIT
- AS BUILT WORKS TO REMAIN
PROPOSED NEW WORKS
ORIGINAL GARAGE
RAIN WATER TANK

ISSUE	REVISION	DATE	PROJECT	DESIGNER	DATE	PROJECT	DESIGNER
A	INITIAL SUBMISSION	3/07/2020	132 Wilbur St, Greenacre NSW 2190	SR CHAN/DACOUN	16/02/2020	132 Wilbur St, Greenacre NSW 2190	SR CHAN/DACOUN
B	REVISION SUBMISSION	16/02/2020					

Allow + or - 200 mm on all RL(S) on plans. All levels are subject to final determination on site.
All work on this drawing must not be used or altered in any way without the consent from the Premium Quality Group Pty Ltd copyright ©



ROOF PLAN

1:100



B-B Section

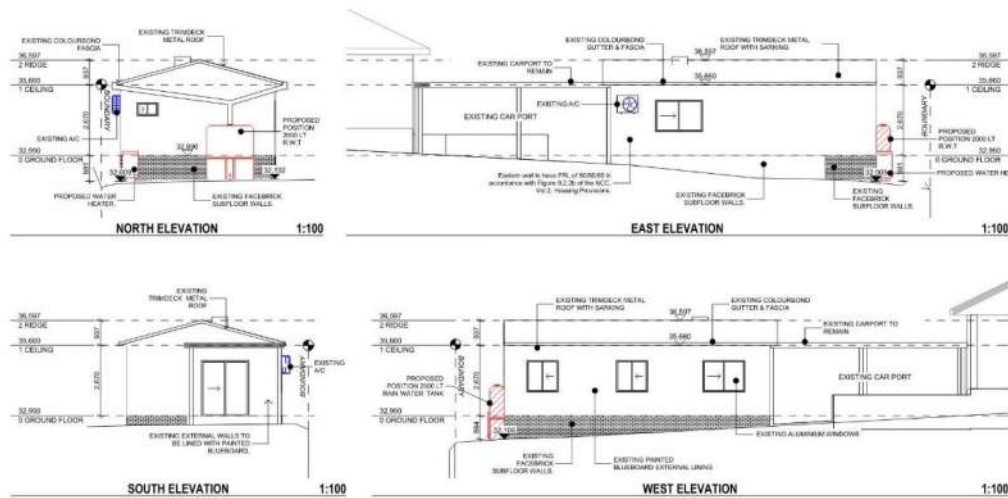
1:100

LEGEND









- f.w. FLOOR WASTE
S.A. SMOKE ALARM
H.W. HOT WATER SYSTEM
A/C AIR-CONDITIONING UNIT
- AS BUILT WORKS TO REMAIN
PROPOSED NEW WORKS
ORIGINAL GARAGE
RAIN WATER TANK

Allow + or - 200 mm on all RL(S) on plans. All levels are subject to final determination on site.
All work on this drawing must not be used or altered in any way without the consent from the Premium Quality Group Pty Ltd copyright ©

ISSUE	REVISION	DATE	PROJECT	DESIGNER	DATE	PROJECT	DESIGNER
A	INITIAL SUBMISSION	3/07/2020	132 Wilbur St, Greenacre NSW 2190	SR CHAN/DACOUN	16/02/2020	132 Wilbur St, Greenacre NSW 2190	SR CHAN/DACOUN
B	REVISION SUBMISSION	16/02/2020					



LEGEND

	FLOOR WASTE		AS BUILT WORKS TO REMAIN
	SMOKE ALARM		PROPOSED NEW WORKS
	HOT WATER SYSTEM		ORIGINAL GARAGE
	AIR-CONDITIONING UNIT		RAIN WATER TANK

Allow + or - 200 mm on all RL(S) on plans. All levels are subject to final determination on site.
All work on this drawing must not be used or altered in any way without the consent from the Premium Quality Group Pty Ltd copyright (P)

ISSUE	REVISION	DATE	PROJECT	DRAWING No	Revision	Project Quality Group
A	INITIAL SUBMISSION	01/07/2024	132 Wilbur St, Greenacre NSW 2190	5 OF 8	1	Premium Quality Group Pty Ltd
B	AMENDED SUBMISSION	18/02/2024		DATE: 18/02/2024	2	ACN 168 341 237
				SCALE: A3	3	E: PQG03@pqr.com.au
				SCALE: A4	4	U: +61 490 001 027
				SCALE: A5	5	U: +61 490 001 027
				SCALE: A6	6	U: +61 490 001 027
				SCALE: A7	7	U: +61 490 001 027
				SCALE: A8	8	U: +61 490 001 027
				SCALE: A9	9	U: +61 490 001 027
				SCALE: A10	10	U: +61 490 001 027
				SCALE: A11	11	U: +61 490 001 027
				SCALE: A12	12	U: +61 490 001 027
				SCALE: A13	13	U: +61 490 001 027
				SCALE: A14	14	U: +61 490 001 027
				SCALE: A15	15	U: +61 490 001 027
				SCALE: A16	16	U: +61 490 001 027
				SCALE: A17	17	U: +61 490 001 027
				SCALE: A18	18	U: +61 490 001 027
				SCALE: A19	19	U: +61 490 001 027
				SCALE: A20	20	U: +61 490 001 027
				SCALE: A21	21	U: +61 490 001 027
				SCALE: A22	22	U: +61 490 001 027
				SCALE: A23	23	U: +61 490 001 027
				SCALE: A24	24	U: +61 490 001 027
				SCALE: A25	25	U: +61 490 001 027
				SCALE: A26	26	U: +61 490 001 027
				SCALE: A27	27	U: +61 490 001 027
				SCALE: A28	28	U: +61 490 001 027
				SCALE: A29	29	U: +61 490 001 027
				SCALE: A30	30	U: +61 490 001 027
				SCALE: A31	31	U: +61 490 001 027
				SCALE: A32	32	U: +61 490 001 027
				SCALE: A33	33	U: +61 490 001 027
				SCALE: A34	34	U: +61 490 001 027
				SCALE: A35	35	U: +61 490 001 027
				SCALE: A36	36	U: +61 490 001 027
				SCALE: A37	37	U: +61 490 001 027
				SCALE: A38	38	U: +61 490 001 027
				SCALE: A39	39	U: +61 490 001 027
				SCALE: A40	40	U: +61 490 001 027
				SCALE: A41	41	U: +61 490 001 027
				SCALE: A42	42	U: +61 490 001 027
				SCALE: A43	43	U: +61 490 001 027
				SCALE: A44	44	U: +61 490 001 027
				SCALE: A45	45	U: +61 490 001 027
				SCALE: A46	46	U: +61 490 001 027
				SCALE: A47	47	U: +61 490 001 027
				SCALE: A48	48	U: +61 490 001 027
				SCALE: A49	49	U: +61 490 001 027
				SCALE: A50	50	U: +61 490 001 027
				SCALE: A51	51	U: +61 490 001 027
				SCALE: A52	52	U: +61 490 001 027
				SCALE: A53	53	U: +61 490 001 027
				SCALE: A54	54	U: +61 490 001 027
				SCALE: A55	55	U: +61 490 001 027
				SCALE: A56	56	U: +61 490 001 027
				SCALE: A57	57	U: +61 490 001 027
				SCALE: A58	58	U: +61 490 001 027
				SCALE: A59	59	U: +61 490 001 027
				SCALE: A60	60	U: +61 490 001 027
				SCALE: A61	61	U: +61 490 001 027
				SCALE: A62	62	U: +61 490 001 027
				SCALE: A63	63	U: +61 490 001 027
				SCALE: A64	64	U: +61 490 001 027
				SCALE: A65	65	U: +61 490 001 027
				SCALE: A66	66	U: +61 490 001 027
				SCALE: A67	67	U: +61 490 001 027
				SCALE: A68	68	U: +61 490 001 027
				SCALE: A69	69	U: +61 490 001 027
				SCALE: A70	70	U: +61 490 001 027
				SCALE: A71	71	U: +61 490 001 027
				SCALE: A72	72	U: +61 490 001 027
				SCALE: A73	73	U: +61 490 001 027
				SCALE: A74	74	U: +61 490 001 027
				SCALE: A75	75	U: +61 490 001 027
				SCALE: A76	76	U: +61 490 001 027
				SCALE: A77	77	U: +61 490 001 027
				SCALE: A78	78	U: +61 490 001 027
				SCALE: A79	79	U: +61 490 001 027
				SCALE: A80	80	U: +61 490 001 027
				SCALE: A81	81	U: +61 490 001 027
				SCALE: A82	82	U: +61 490 001 027
				SCALE: A83	83	U: +61 490 001 027
				SCALE: A84	84	U: +61 490 001 027
				SCALE: A85	85	U: +61 490 001 027
				SCALE: A86	86	U: +61 490 001 027
				SCALE: A87	87	U: +61 490 001 027
				SCALE: A88	88	U: +61 490 001 027
				SCALE: A89	89	U: +61 490 001 027
				SCALE: A90	90	U: +61 490 001 027
				SCALE: A91	91	U: +61 490 001 027
				SCALE: A92	92	U: +61 490 001 027
				SCALE: A93	93	U: +61 490 001 027
				SCALE: A94	94	U: +61 490 001 027
				SCALE: A95	95	U: +61 490 001 027
				SCALE: A96	96	U: +61 490 001 027
				SCALE: A97	97	U: +61 490 001 027
				SCALE: A98	98	U: +61 490 001 027
				SCALE: A99	99	U: +61 490 001 027
				SCALE: A100	100	U: +61 490 001 027

Project summary			
Project name	132 Wilbur St, Greenacre NSW 2190		
Project address	132 Wilbur Road Greenacre NSW 2190		
Local Government Area	City of Parramatta Council		
Proposed project name	132 Wilbur St		
Site no.	132		
Section no.	1		
Project type	Single dwelling house - secondary dwelling		
No. of bedrooms	1		
Performance summary			
Energy	✓	100	Target 100
Thermal Comfort	✓	100	Target 100
Storage	✓	100	Target 100

Water Commitments	Score on 10 points	Score on 100% points & space	Compliance check
Landscape The applicant must plant a minimum of one native tree species of vegetation throughout the site to provide shade of the site.	✓	✓	✓
Alternative water The applicant must install a minimum of 100 litres of water storage on the site. This container must be used and be installed in accordance with the requirements of all applicable regulatory authorities.	✓	✓	✓
Thermal Comfort Commitments	Score on 10 points	Score on 100% points & space	Compliance check
General features The dwelling must not have more than 2 stories. The dwelling must not have more than 2 stories. The dwelling must not have more than 2 stories. The dwelling must not have more than 2 stories.	✓	✓	✓
Floor, walls and ceiling The applicant must construct the floor, walls, and ceiling of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
Thermal Comfort Commitments	Score on 10 points	Score on 100% points & space	Compliance check
Windows, glazed doors and skylights The applicant must install the windows, glazed doors and skylights in accordance with the specifications listed in the table below. The applicant must install the windows, glazed doors and skylights in accordance with the specifications listed in the table below. The applicant must install the windows, glazed doors and skylights in accordance with the specifications listed in the table below.	✓	✓	✓
Energy Commitments	Score on 10 points	Score on 100% points & space	Compliance check
Hot water The applicant must install the hot water system in the dwelling, or a system with a high energy rating, in accordance with a performance of 100%.	✓	✓	✓
Natural lighting The applicant must install a window or skylight in the kitchen, or a window or skylight in the kitchen, or a window or skylight in the kitchen.	✓	✓	✓

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (extension within 10%)	Shading device
North facing					
W01	1200	1800	casement, single, clear	casement 1200 mm, 200 mm above head of window or glazed door	not installed
East facing					
W02	1200	1800	casement, single, clear	casement 1200 mm, 200 mm above head of window or glazed door	not installed
South facing					
W03	1200	1800	casement, single, clear	casement 1200 mm, 200 mm above head of window or glazed door	not installed
West facing					
W04	1200	1800	casement, single, clear	casement 1200 mm, 200 mm above head of window or glazed door	not installed
Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (extension within 10%)	Shading device
W05	1200	1800	casement, single, clear	casement 1200 mm, 200 mm above head of window or glazed door	not installed

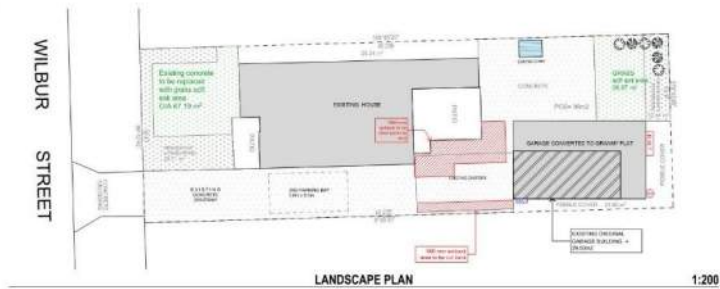
ISSUE	REVISION	DATE	PROJECT	DRAWING No	Revision	Project Quality Group
A	INITIAL SUBMISSION	01/07/2024	132 Wilbur St, Greenacre NSW 2190	5 OF 8	1	Premium Quality Group Pty Ltd
B	AMENDED SUBMISSION	18/02/2024		DATE: 18/02/2024	2	ACN 168 341 237
				SCALE: A3	3	E: PQG03@pqr.com.au
				SCALE: A4	4	U: +61 490 001 027
				SCALE: A5	5	U: +61 490 001 027
				SCALE: A6	6	U: +61 490 001 027
				SCALE: A7	7	U: +61 490 001 027
				SCALE: A8	8	U: +61 490 001 027
				SCALE: A9	9	U: +61 490 001 027
				SCALE: A10	10	U: +61 490 001 027
				SCALE: A11	11	U: +61 490 001 027
				SCALE: A12	12	U: +61 490 001 027
				SCALE: A13	13	U: +61 490 001 027
				SCALE: A14	14	U: +61 490 001 027
				SCALE: A15	15	U: +61 490 001 027
				SCALE: A16	16	U: +61 490 001 027
				SCALE: A17	17	U: +61 490 001 027
				SCALE: A18	18	U: +61 490 001 027
				SCALE: A19	19	U: +61 490 001 027
				SCALE: A20	20	U: +61 490 001 027
				SCALE: A21	21	U: +61 490 001 027
				SCALE: A22	22	U: +61 490 001 027
				SCALE: A23	23	U: +61 490 001 027
				SCALE: A24	24	U: +61 490 001 027
				SCALE: A25	25	U: +61 490 001 027
				SCALE: A26	26	U: +61 490 001 027
				SCALE: A27	27	U: +61 490 001 027
				SCALE: A28	28	U: +61 490 001 027
				SCALE: A29	29	U: +61 490 001 027
				SCALE: A30	30	U: +61 490 001 027
				SCALE: A31	31	U: +61 490 001 027
				SCALE: A32	32	U: +61 490 001 027
				SCALE: A33	33	U: +61 490 001 027
				SCALE: A34	34	U: +61 490 001 027
				SCALE: A35	35	U: +61 490 001 027
				SCALE: A36	36	U: +61 490 001 027
				SCALE: A37	37	U: +61 490 001 027
				SCALE: A38	38	U: +61 490 001 027
				SCALE: A39	39	U: +61 490 001 027
				SCALE: A40	40	U: +61 490 001 027
				SCALE: A41	41	U: +61 490 001 027
				SCALE: A42	42	U: +61 490 001 027
				SCALE: A43	43	U: +61 490 001 027
				SCALE: A44	44	U: +61 490 001 027
				SCALE: A45	45	U: +61 490 001 027
				SCALE: A46	46	U: +61 490 001 027
				SCALE: A47	47	U: +61 490 001 027
				SCALE: A48	48	U: +61 490 001 027
				SCALE: A49	49	U: +61 490 001 027
				SCALE: A50	50	U: +61 490 001 027
				SCALE: A51	51	U: +61 490 001 027
				SCALE: A52	52	U: +61 490 001 027
				SCALE: A53	53	U: +61 490 001 027
				SCALE: A54	54	U: +61 490 001 027
				SCALE: A55	55	U: +61 490 001 027
				SCALE: A56	56	U: +61 490 001 027
				SCALE: A57	57	U: +61 490 001 027
				SCALE: A58	58	U: +61 490 001 027
				SCALE: A59	59	U: +61 490 001 027
				SCALE: A60	60	U: +61 490 001 027
				SCALE: A61	61	U: +61 490 001 027
				SCALE: A62	62	U: +61 490 001 027
				SCALE: A63	63	U: +61 490 001 027
				SCALE: A64	64	U: +61 490 001 027
				SCALE: A65	65	U: +61 490 001 027
				SCALE: A66	66	U: +61 490 001 027
				SCALE: A67	67	U: +61 490 001 027
				SCALE: A68	68	U: +61 490 001 027
				SCALE: A69	69	U: +61 490 001 027
				SCALE: A70	70	U: +61 490 001 027
				SCALE: A71	71	U: +61 490 001 027
				SCALE: A72	72	U: +61 490 001 027
				SCALE: A73	73	U: +61 490 001 027
				SCALE: A74	74	U: +61 490 001 027
				SCALE: A75	75	U: +61 490 001 027
				SCALE: A76	76	U: +61 490 001 027
				SCALE: A77	77	U: +61 490 001 027
				SCALE: A78	78	U: +61 490 001 027
				SCALE: A79	79	U: +61 490 001 027
				SCALE: A80	80	U: +61 490 001 027
				SCALE: A81	81	U: +61 490 001 027
				SCALE: A82	82	U: +61 490 001 027
				SCALE: A83	83	U: +61 490 001 027
				SCALE: A84	84	U: +61 490 001 027
				SCALE: A85	85	U: +61 490 001 027
				SCALE: A86	86	U: +61 490 001 027
				SCALE: A87	87	U: +61 490 001 027
				SCALE: A88	88	U: +61 490 001 027
				SCALE: A89	89	U: +61 490 001 027
				SCALE: A90	90	U: +61 490 001 027
				SCALE: A91	91	U: +61 490 001 027
				SCALE: A92	92	U: +61 490 001 027
				SCALE: A93	93	U: +61 490 001 027
				SCALE: A94	94	U: +61 490 001 027
				SCALE: A95	95	U: +61 490 001 027
				SCALE: A96	96	U: +61 490 001 027
				SCALE: A97	97	U: +61 490 001 027
				SCALE: A98	98	U: +61 490 001 027
				SCALE: A99	99	U: +61 490 001 027
				SCALE: A100	100	U: +61 490 001 027
				SCALE: A101	101	U: +61 490 001 027
				SCALE: A102	102	U: +61 490 001 027
				SCALE: A103	103	U: +61 490 001 027
				SCALE: A104	104	U: +61 490 001 027
				SCALE: A105	105	U: +61 490 001 027
				SCALE: A106	106	U: +61 490 001 027
				SCALE: A107	107	U: +61 490 001 027
				SCALE: A108	108	U: +61 490 001 027
				SCALE: A109	109	U: +61 490 001 027
				SCALE: A110	110	U: +61 490 001 027
				SCALE: A111	111	U: +61 490 001 027
				SCALE: A112	112	U: +61 490 001 027
				SCALE: A113	113	U: +61 490 001 027
				SCALE: A114	114	U: +61 490 001 027
				SCALE: A115	115	U: +61 490 001 027
				SCALE: A116	116	U: +61 490 001 027
				SCALE: A117	117	U: +61 490 001 027
				SCALE: A118	118	U: +61 490 001 027
				SCALE: A119	119	U: +61 490 001 027
				SCALE: A120	120	U: +61 490 001 027
				SCALE: A121	121	U: +61 490 001 027
				SCALE: A122	122	U: +61 490 001 027
				SCALE: A123	123	U: +61 490 001 027
				SCALE: A124	124	U: +61 490 001 027
				SCALE: A125	125	U: +61 490 001 027
				SCALE: A126	126	U: +61 490 001 027
				SCALE: A127	127	U: +61 490 001 027
				SCALE: A128	128	U: +61 490 001 027
				SCALE: A129	129	U: +61 490 001 027
				SCALE: A130	130	U: +61 490 001 027
				SCALE: A131	131	U: +61 490 001 027
				SCALE: A132	132	U: +61 490 001 027
				SCALE: A133	133	U: +61 490 001 027
				SCALE: A134	134	U: +61 490 001 027
				SCALE: A135	135	U: +61 490 001 027
				SCALE: A136	136	U: +61 490 001 027
				SCALE: A137	137	U: +61 490 001 027
				SCALE: A138	138	U: +61 490 001 027
				SCALE: A139	139	U: +61 490 001 027
				SCALE: A140	140	U: +61 490 001 027
				SCALE: A141	141	U: +61 490 001 027
				SCALE: A142	142	U: +61 490 001 027
				SCALE: A143	143	U: +61 490 001 027
				SCALE: A144	144	U: +61 490 001 027
				SCALE: A145	145	U: +61 490 001 027
				SCALE: A146	146	U: +61 490 001 027
				SCALE: A147	147	U: +61 490 001 027
				SCALE: A148	148	U: +61 490 001 027
				SCALE: A149	149	U: +61 490 001 027
				SCALE: A150	150	U: +61 490 001 027
				SCALE: A151	151	U: +61 490 001 027
				SCALE: A152	152	U: +61 490 001 027
				SCALE: A153	153	U: +61 490 001 027
				SCALE: A154	154	U: +61 490 001 027
				SCALE: A155	155	U: +61 490 001 027
				SCALE: A156	156	U: +61 490 001 027
				SCALE: A157	157	U: +61 490 001 027
				SCALE: A158	158	U: +61 490 001 027
				SCALE: A159	159	U: +61 490 001 027
				SCALE: A160	160	U: +61 490 001 027
				SCALE: A161	161	U: +61 490 001 027
				SCALE: A162	162	U: +61 490 001 027
				SCALE: A163	163	U: +61 490 001 027
				SCALE: A164	164	U: +61 490 001 027
				SCALE: A165	165	U: +61 490 001 027
				SCALE: A166	166	U: +61 490 001 027
				SCALE: A167	167	U: +61 490 001 027
				SCALE: A168	168	U: +61 490 001 027
				SCALE: A169	169	U: +61 490 001 027
				SCALE: A170	170	U: +61 490 001 027
				SCALE: A171	171	U: +61 490 001 027
				SCALE: A172	172	U: +61 490 001 027
				SCALE: A173	173	U: +61 490 001 027
				SCALE: A174	174	U: +61 490 001 027
				SCALE: A175	175	U: +61 490 001 027
				SCALE: A176	176	U: +61 490 001 027
				SCALE: A177	177	U: +61 490 001 027
				SCALE: A178	178	U: +61 490 001 027
				SCALE: A179	179	U: +61 490 001 027
				SCALE: A180	180	U: +61 490 001 027
				SCALE: A181	181	U: +61 490 001 027
				SCALE: A182	182	U: +61 490 001 027
				SCALE: A183	183	U: +61 490 001 027
				SCALE: A184	184	U: +61 490 001 027
				SCALE: A185	185	U: +61 490 001 027
				SCALE: A186	186	U: +61 490 001 027
				SCALE: A187	187	U: +61 490 001 027
				SCALE: A188	188	U: +61 490 001 027
				SCALE: A189	189	U: +61 490 001 027
				SCALE: A190	190	U: +61 490 001 027
				SCALE: A191	191	U: +61 490 001 027
				SCALE: A192	192	U: +61 490 001 027
				SCALE: A193	193	U: +61 490 001 027
				SCALE: A194	194	U: +61 490 001 027
				SCALE: A195	195	U: +61 490 001 027
				SCALE: A196	196	U: +61 490 001 027
				SCALE: A197	197	U: +61 490 001 027
				SCALE: A198	198	U: +61 490 001 027
				SCALE: A199	199	U: +61 490 001 027
				SCALE: A200	200	U: +61 490 001 027
				SCALE: A201	201	U: +61 490 001 027
				SCALE: A202	202	U: +61 490 001 027
				SCALE: A203	203	U: +61 490 001 027
				SCALE: A204	204	U: +61 490 001 027
				SCALE: A205	205	U: +61 490 001 027
</						

BCA Report
132 Wilbur St, Greenacre NSW 2190

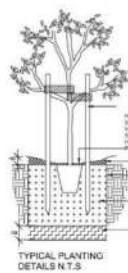
1.3 Recommended Works

As detailed in the above section 3.0 of this report:

1. A suitable qualified professional engineer is to certify that the timber framing is in accordance with AS1584.2 or AS 1584.4.
2. Engineer to certify structure, new & existing slabs and footings.
3. Licensed Plumber to confirm compliance of existing and proposed stormwater system to be connected to existing stormwater system, including downpipes and gutters.
4. Licensed plumber to connect downpipes to stormwater system and to certify all plumbing works in accordance with BCA and any relevant Australian Standards.
5. Licensed Pest Controller to confirm installation of a suitable termite barrier system on the perimeter of the outbuilding and certify the work and install a new durable notice.
6. Wet area waterproofing to be certified by licensed water proofer to verify compliance with AS 3740, in accordance with BCA 10.2 requirements.
7. Glazing certificate to be obtained from supplier and installer to confirm compliance with NGA and AS 1288 & AS 2047.
8. Exhaust from bathroom or sanitary compartment, must discharge directly or via a shaft or duct to outdoor air. To be confirmed by Licensed electrician.
9. All electrical works to be certified by Licensed Electrician.
10. Smoke alarms to be reinstated to be relocated near bedrooms and handwired as per AS3786. To be certified by Licensed Electrician.
11. Exhaust from a kitchen, & kitchen range hood and bathroom, must discharge directly or via a shaft or duct to outdoor air, to be certified by Licensed Electrician.
12. Install new washbasin for a washing machine in the same bathroom.



VEGETATION

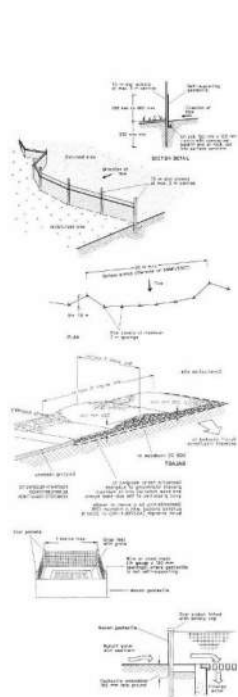


Blackthorn x 3
(H 3.0m x W 1.0m)

Kidney Weed x 3
(H 0.1m x W 0.1m)

Allow + or - 200 mm on all RL(S) on plans. All levels are subject to final determination on site.
All work on this drawing must not be used or altered in any way without the consent from the Premium Quality Group Pty Ltd copyright ©

DATE	REVISION	DATE	PROJECT	DESIGNING No	Premium Quality Group Pty Ltd
1	INITIAL SUBMISSION	10/07/2020	132 Wilbur St, Greenacre NSW 2190	7 OF 8	ACN 100 340 127
2	REVISED SUBMISSION	19/02/2021		8 OF 8	E: PQL003@pql.com.au
			CLIENT: MR. DEAN CHOCUN	SCALE: AS SHOWN (GAL)	M: +61 892 007 227
			PROJECT No. 001/23	DESIGN: 1/2	© 1999-2020 Premium Quality Group Pty Ltd



SEDIMENT CONTROL FENCE & POS DIAGRAM

SEDIMENT CONTROL FENCE DETAILS

Extract from "Managing Urban Stormwater - Suburbs and Commercial" August 1988 produced by Department of Housing

SD 5-7 STABILISED SITE ACCESS

- 1) STRIP TOPSOIL AND LEVEL SITE.
- 2) COMPACT SUBGRADE.
- 3) COVER AREA WITH GEOTEXTILE.
- 4) CONSTRUCT 200 mm THICK PAD OVER GEOTEXTILE USING ROADBASE OR 20mm AGGREGATE. Min 10m LONG OR TO BUILDING ALIGNMENT. 50m WIDE.
- 5) CONSTRUCT HUMP IMMEDIATELY WITHIN BOUNDARY TO DIVERT WATER TO A SEDIMENT FENCE OR OTHER SEDIMENT TRAP.

SD 6-7 SEDIMENT FENCE

- 1) CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE AND PARALLEL TO THE CONTOUR OF THE SITE.
- 2) DRIVE 1.0 m LONG STAKE POSTS INTO GROUND MAX 3 m C/S.
- 3) DIG A 100 mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRINED.
- 4) BACKFILL TRENCH OVER BASE OF FABRIC.
- 5) FIX SELF SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER.
- 6) JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A MAX LAP OF 100 mm.

SD 6-8 GEOTEXTILE INLET FILTER

- 1) FABRIC & SEDIMENT BARRIER MADE FROM GEOTEXTILE. REFER SD 6-7 FOR DETAILS.
- 2) SUPPORT GEOTEXTILE WITH MESH TIED TO POSTS AT 1 m C/S.
- 3) DO NOT COVER INLET WITH GEOTEXTILE.

NOTE:

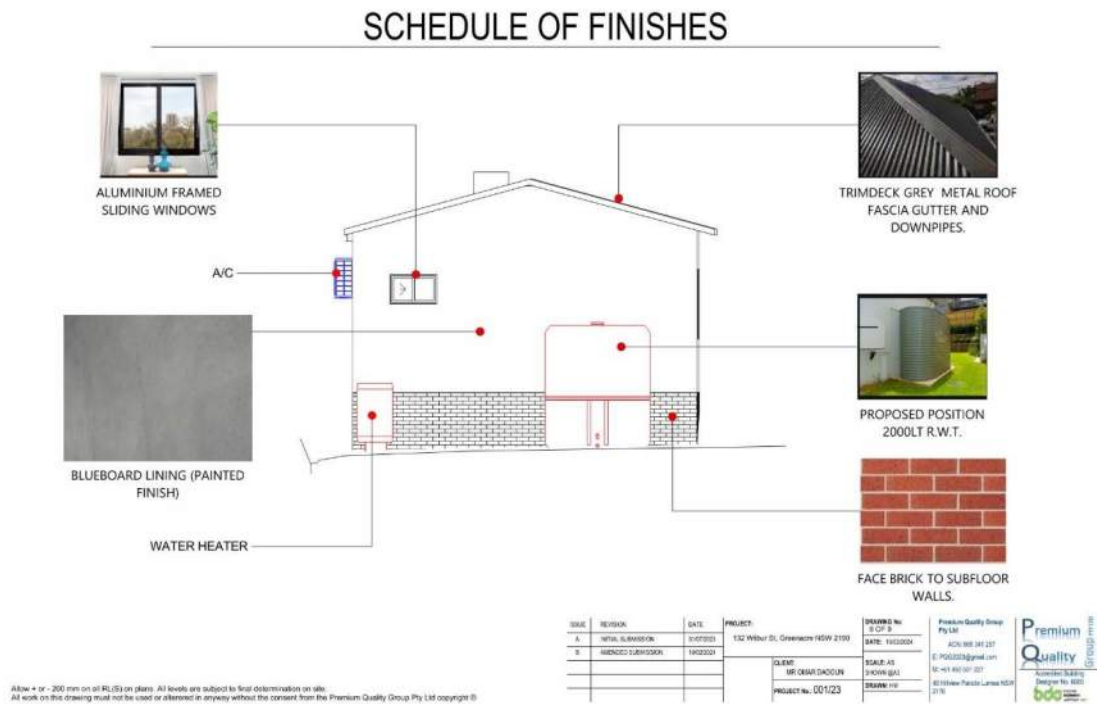
WHEELS OF VEHICLES LEAVING SITE TO BE WASHED-DOWN TO PREVENT SEDIMENT LEAVING SITE.

LEGEND

- SEDIMENT CONTROL FABRIC FENCE
- WASH DOWN AREA
- BRICK PILE AREA
- SAND PILE AREA
- RECYCLED PLASTIC, CARDBOARD AND RUBBISH AREA
- BLUE METAL GRAVEL - UNLOADING AREA
- SECURITY SAFETY FENCE
- H/W HOT WATER SYSTEM
- R.W.T. RAIN WATER TANK

DATE	REVISION	DATE	PROJECT	DESIGNING No	Premium Quality Group Pty Ltd
1	INITIAL SUBMISSION	10/07/2020	132 Wilbur St, Greenacre NSW 2190	8 OF 8	ACN 100 340 127
2	REVISED SUBMISSION	19/02/2021		9 OF 8	E: PQL003@pql.com.au
			CLIENT: MR. DEAN CHOCUN	SCALE: AS SHOWN (GAL)	M: +61 892 007 227
			PROJECT No. 001/23	DESIGN: 1/2	© 1999-2020 Premium Quality Group Pty Ltd

Allow + or - 200 mm on all RL(S) on plans. All levels are subject to final determination on site.
All work on this drawing must not be used or altered in any way without the consent from the Premium Quality Group Pty Ltd copyright ©



End of Report